



DC Home Improvement
Contractor Lic #420215000094

MHIC
License #132356

VA Home Improvement
Contractor Lic #2705132717

MD Master Plumber
Lic #83998

VA Master Plumber
Lic #2705132717

MD Master Electrician
Lic #4606

VA Master Electrician
Lic #2705132717

Preliminary Plat/Zoning Review

Date: May 9, 2024
 Address: 913 Duke St., Alexandria, VA 22314*
 Contacts: John Doe // info@moorecg.com // 703-960-0253*
 Project: Addition for new powder room, primary suite

Zone: City of Alexandria R-8

Included Documents: Plat with Markups, City of Alexandria Zoning Ordinance for R-8, Applicable Property Info

Findings Summary:

- Built in 1937
- Minimum lot size: 8,000 (due to the age of your lot, your 4,984 sf lot is grandfathered in)
- Minimum lot width: 65' (due to the age of your lot, your 57' lot is grandfathered in)
- R-8 Setback Requirements:
 - Front Yard: Contextual (in line with other homes on the block)
 - Corner lot requires front setback on both street-facing yards.
 - Rear Yard: 1:1 (8' minimum) [setback : building height]
 - Side Yard: 1:2 (8' minimum) [setback : building height]
 - Maximum Building Height: 30 ft
- FAR: 0.35 x lot area = maximum floor area square footage 1,744
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Based on the review of your plat, you should be able to carry forward with a 10'x22' addition off the rear (or possibly the side) of your home. The main concern on your lot is the current FAR, which allows a maximum square footage (with exceptions) of 1,744. Based on the tax record, your current above-grade square footage is 1,163, giving you about 580 sf to work with. Additionally, there may be some wiggle room on the side setbacks when it comes to the overall building height of the addition. For example, we could utilize an 8' setback for a portion of the addition up to 16' tall, and then stagger the upper floor to the 10/12' setback. MCG to confirm FAR calculations and overall size/shape of the addition during design phase.

Prepared by: C. Abler

NOTE: *Please be aware that all information contained in this report is preliminary in nature. Moore Construction Group LLC offers no guarantee regarding the completeness or accuracy of the information contained within. Please contact our team for clarifications and/or next steps.*

**Names and addresses have been changed for privacy*

Land Description

Lot Size (Sq. Ft.): 4,984

Zoning: R 8

Building Description

Year Built: 1937

Construction Quality: GOOD

Building Condition: GOOD

HVAC: CENTRAL AIR TO AIR

Building Type: 2 STORY

Ext. Wall Construction: MASONRY COMMON BRICK

Above Grade Living Area (Sq. Ft.): 1,163

Total Basement Area (Sq. Ft.): 645

Finished Basement Area (Sq. Ft.): 645

Full Baths: 2

Half Baths: 0

Fireplace Description: SINGLE 2 STORY - GOOD

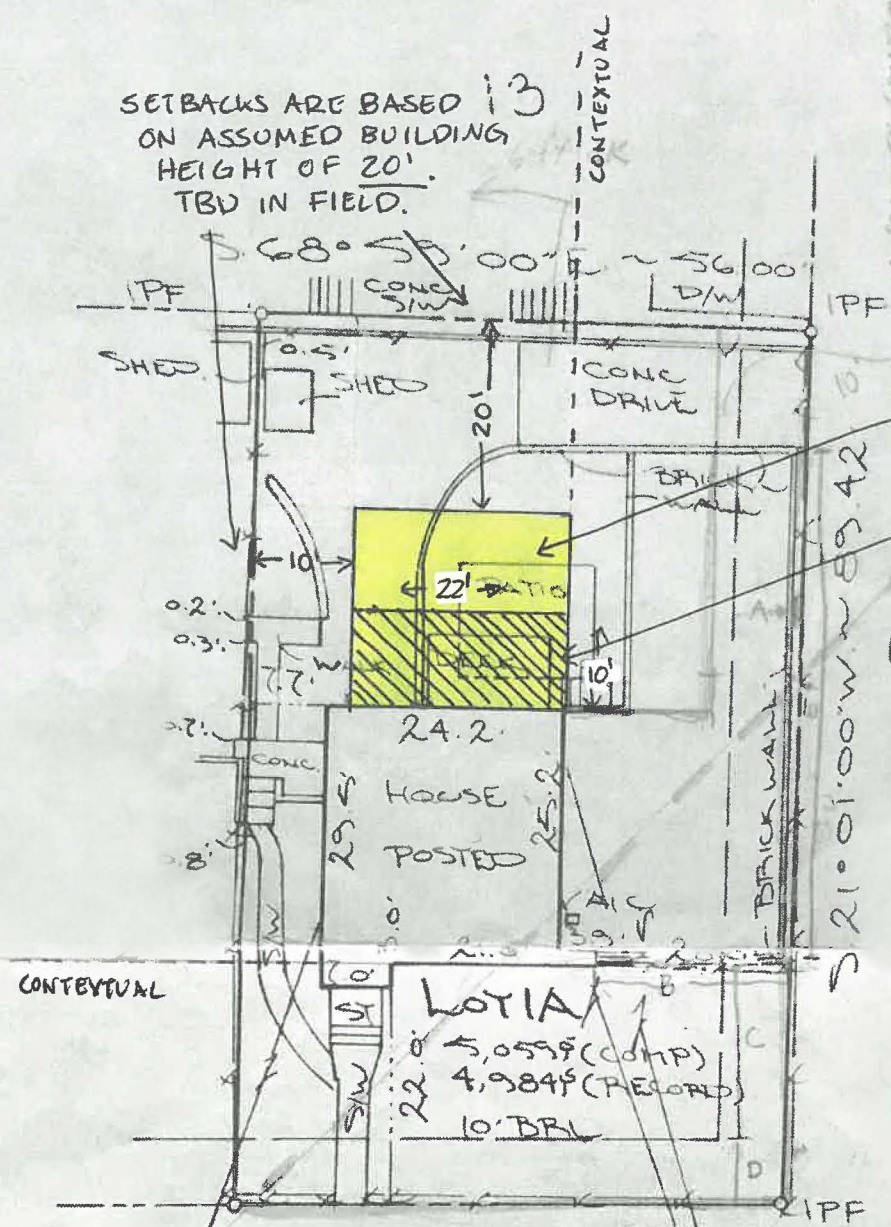
FP Units: 1

There may be additional data for this property; contact Office of Real Estate Assessments for more information.

NOTE: Building area is above grade and does not include basement area.

- 1) BOUNDARY BY OTHERS
- 2) NOT FOR ANY CONSTRUCTION (INCLUDING FENCES)
- 3) LOCATION OF FENCES (IF SHOWN) ARE APPROXIMATE AND DO NOT CERTIFY OWNERSHIP
- 4) THIS PROPERTY IS SHOWN ON ASSESSMENT MAP NO. 02A.03-02-04
- 5) THIS PROPERTY IS LOCATED IN P.L.R.M. ZONE X AS SHOWN ON COMMUNITY PANEL NO. 555900050 DATED 5/15/91
- 6) COPYRIGHT 1995, RICE ASSOCIATES, P.C. THIS IS A SERVICE DOCUMENT AND IS VALID FOR SIX MONTHS FROM DATE ISSUED
- 7) I.P.F., I.P.F., I.P.F., I.P.S., I.R.L., N.F. DENOTE PERMANENT MONUMENTATION

SETBACKS ARE BASED 1:3 ON ASSUMED BUILDING HEIGHT OF 20'. TBD IN FIELD.



BUILDABLE AREA
 PROPOSED ADDITION
 *NOTE: OVERALL FOOTPRINT & SETBACKS OF ADDITION CAN CHANGE DUE TO FINAL BUILDING HEIGHT.

front sidewalk to edge of brick wall 28' 9"
 edge of sidewalk to st. = 7'
 sidewalk width = 54 1/2"
 length of (flush) side brick wall 52'

2A

2'

CITY OF ALEXANDRIA, VIRGINIA

HOUSE LOCATION

No Title Report Furnished

DATE: 7/8/95
 DRAWN BY: LWS

SCALE: 1" = 20'
 CHECKED BY: DH

RICE ASSOCIATES, P.C.

SPRINGFIELD, VIRGINIA

PHONE 866-7770 FAX 866-3609 051072



R-8 Corner Lot
 Front Yard: Contextual
 Side Yard: 1:2 (8' min)
 Rear Yard: 1:1 (8' min)
 FAR: 0.35
 Height: 30' max

Sec. 3-300 - R-8/Single-family zone.

3-301 - Purpose.

The R-8 zone is established to provide and maintain land areas for low density residential neighborhoods of single-family homes on 8,000 square foot lots. Nonresidential uses of a noncommercial nature which are related to, supportive of and customarily found in a residential neighborhood are also permitted.

3-302 - Permitted uses.

The following uses are permitted in the R-8 zone:

- (A) Single-family dwelling;
- (B) Accessory uses, as permitted by section 7-100;
- (C) Child or elder care home, as permitted by section 7-500;
- (D) Church;
- (E) Home occupation, as permitted by section 7-300;
- (F) Public park;
- (G) Public school;
- (H) Utilities, as permitted by section 7-1200.

3-302.1 - Administrative special uses.

The following uses may be allowed in the R-8 zone with administrative approval pursuant to section 11-513 of this ordinance:

- (A) Day care center within a church or school building;
- (B) Child or elder care home, other than pursuant to section 3-302.

3-303 - Special uses.

The following uses may be allowed in the R-8 zone pursuant to a special use permit:

- (A) Cemetery;
- (B) Reserved;
- (C) Noncommercial, not-for-profit facilities, including indoor and outdoor recreational facilities and community centers, designed to serve the neighborhood;
- (D) Private school;
- (E)

Any church or school parking added after October 1, 1996 which exceeds the number of spaces required by this ordinance; provided, however, that no special use permit for such excess parking shall regulate or substantially burden any religious practice or belief.

3-304 - Prohibited uses.

Any use which is not a permitted, special or accessory use pursuant to this section 3-300 is prohibited.

3-305 - Lot requirements.

- (A) *Lot size.* Each principal use shall be located on a lot with a minimum land area of 8,000 square feet except in the case of a corner lot, in which case the minimum land area shall be 9,000 square feet.
- (B) *Lot width.* The minimum lot width at the building line shall be 65 feet except in the case of a corner lot, in which case the minimum lot width shall be 80 feet.
- (C) *Lot frontage.* The minimum lot frontage at the front lot line shall be 40 feet.

3-306 - Bulk and open space regulations.

(A) *Yard requirements.*

- (1) *Front yard.* For each residential use, the required front yard shall be between the range established by the front yards within the contextual block face. If the minimum front yard, including the front yard of the property in question, within this range exceeds 30 feet, a residential use shall provide a front yard of at least 30 feet. Any other use shall provide a front yard of at least 30 feet.
 - (2) *Side yards.* Each residential use shall provide two side yards, each based on a setback ratio of 1:2 and a minimum size of eight feet. Each other use shall provide two side yards, each based on a setback ratio of 1:1 and a minimum size of 25 feet.
 - (3) *Rear yard.* Each residential use shall provide a rear yard based on a setback ratio of 1:1 and a minimum size of eight feet. Each other use shall provide a rear yard based on a setback ratio of 1:1 and a minimum size of 25 feet.
- (B) *FAR.* The maximum permitted floor area ratio is 0.35.
- (C) *Height.* The maximum permitted height of a structure is 30 feet except for a church or school use in which case the maximum permitted height is 40 feet.
- (D) *Threshold height.* The maximum permitted threshold height for a residential use is two and one-half feet, the highest threshold height within the contextual block face or the minimum necessary to comply with the floodplain requirements of section 6-306(B), whichever is greatest.

(Ord. No. 3912, § 2, 1-25-97; Ord. No. 4573, § 1, 12-13-08; Ord. No. 5035, § 1, 6-28-16; Ord. No. 5206, § 13, 3-16-19)