

Smart Start: Design a House

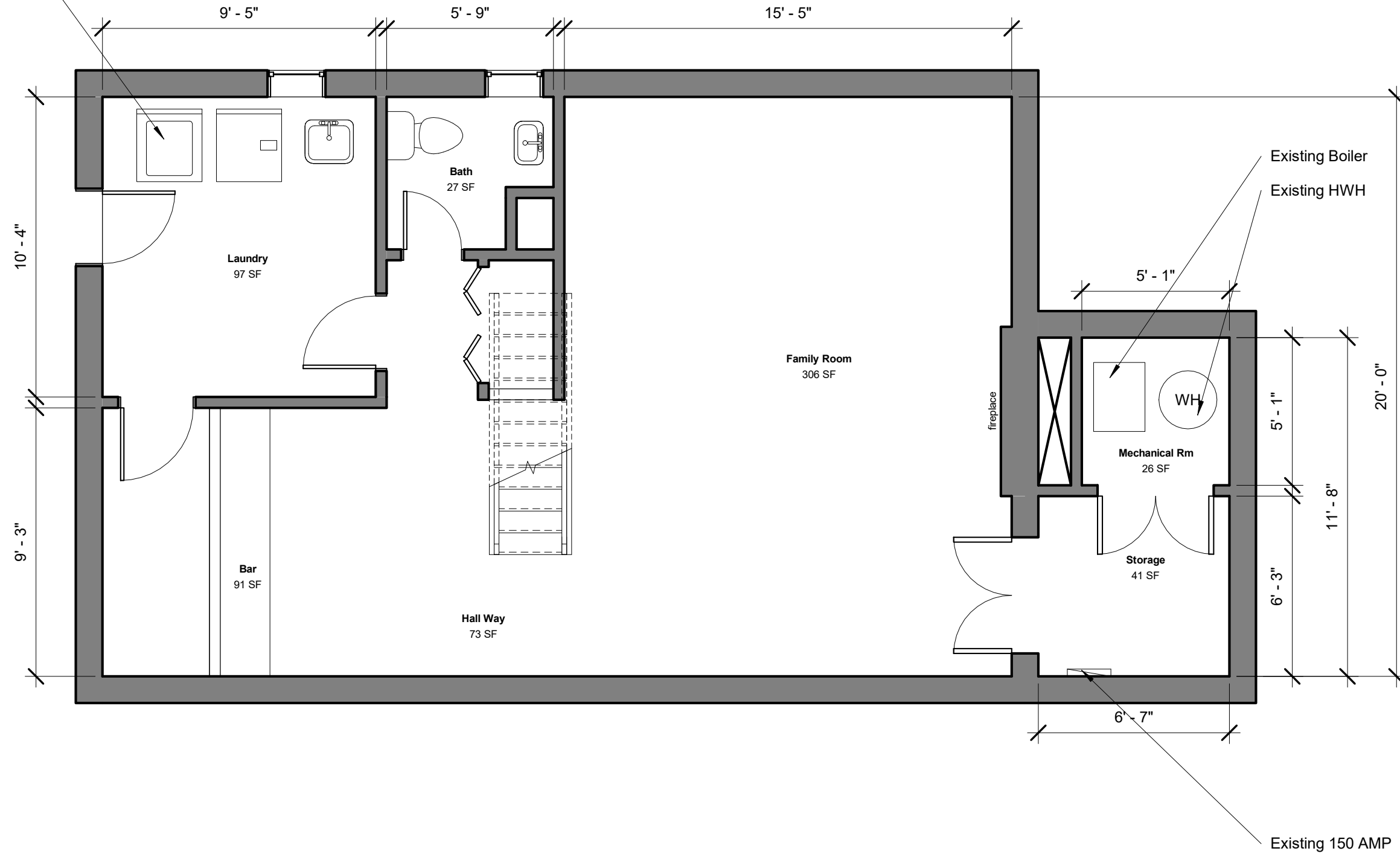
**One of the biggest challenges homeowners face** when renovating is a lack of information. Is this project in my budget? What exactly is going to be provided? How will it look when it's done? All these questions can be answered by engaging in preliminary design.

**We make it easy for homeowners to hit the ground running** by helping create a vision for their space, then preparing the details to make the vision a reality. Our Architectural Designers have designed hundreds of spaces, and hold a Bachelor's Degree in Architecture at minimum. The benefits of their experience translate into a much more insightful and valuable design.

As always, our designs are your property. This means they can be used as part of your permit package- even if it is with another contractor! All your designs will be hosted on your [Online Portal](#), which provides a hub throughout the process. Curious what the process looks like? Check out our [Road Map!](#)

FIRST, WE MEASURE YOUR SPACE AS IT IS  
NOW

Existing elec dryer



123 Main Street  
Washington, DC

Existing Conditions      A101

Scale 1/4" = 1'-0"

Date 07/28/20  
Drawn by RAD

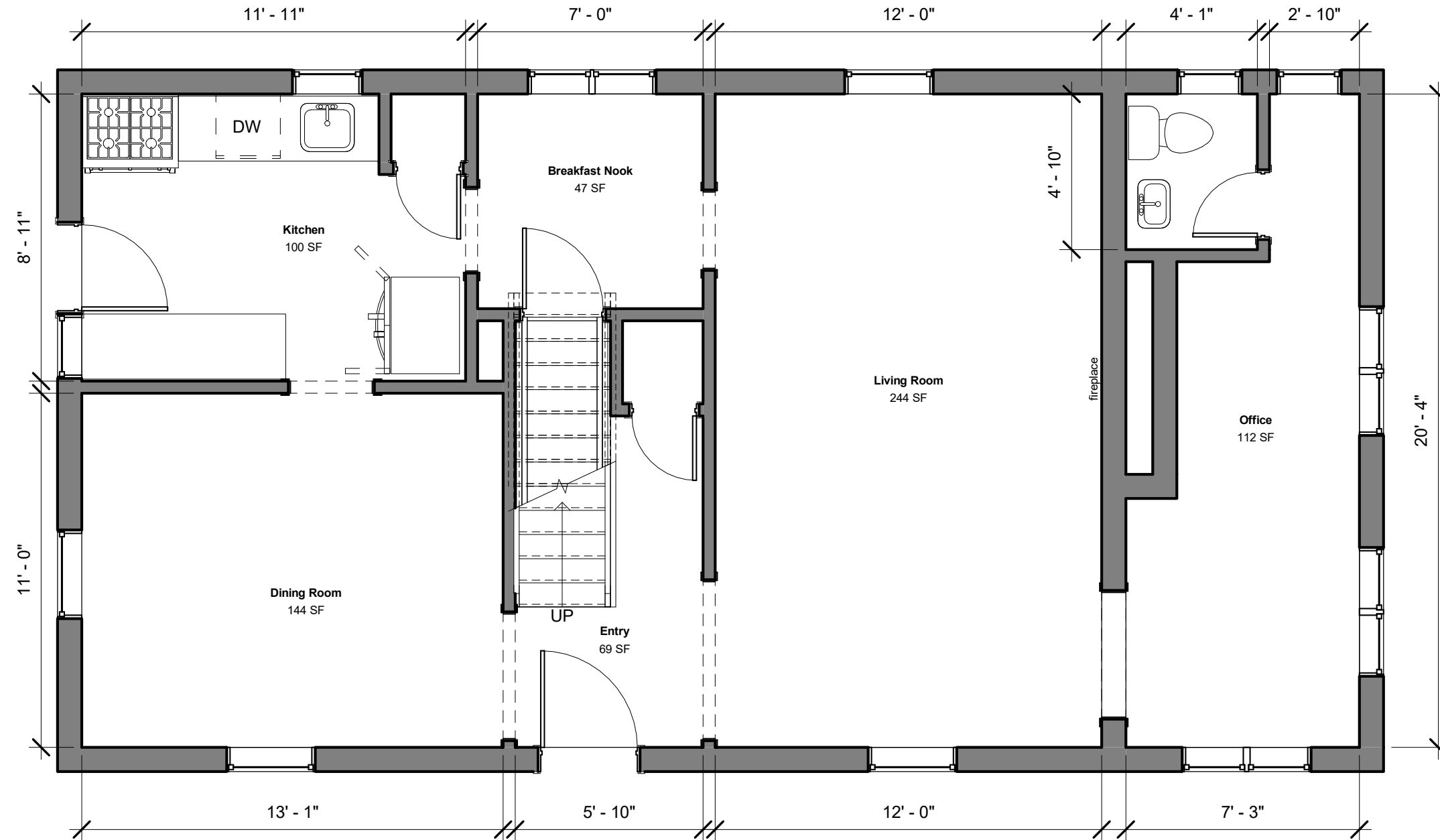
OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design

13 Risers Basement to Main Level

Ceiling Height 8'-0"



123 Main Street  
Washington, DC

Existing Conditions      A102

Date      07/28/20  
Drawn by      Author  
Scale      1/4" = 1'-0"

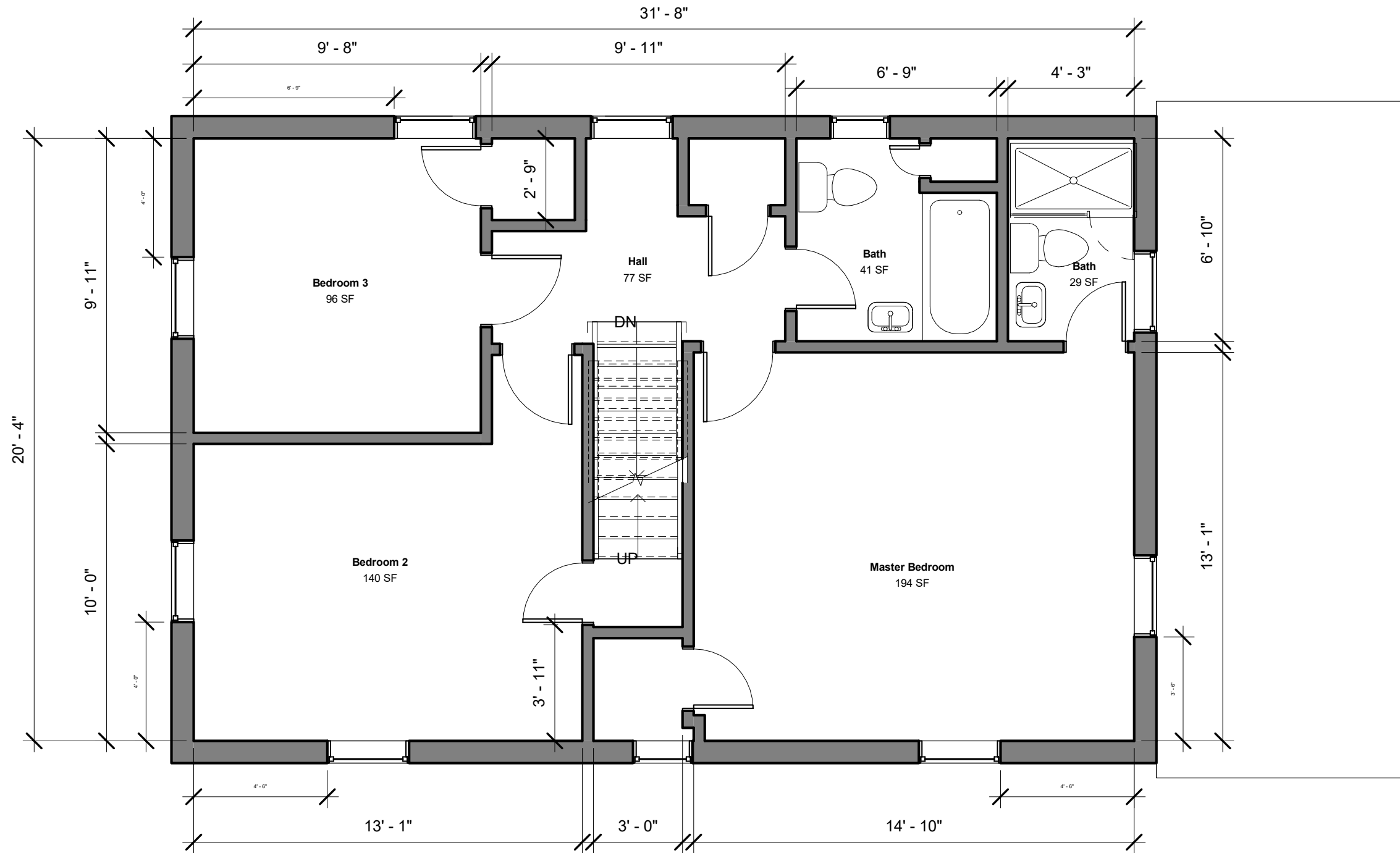
OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design

14 Risers Main to Upper Level

Ceiling Height 7'-11"



123 Main Street  
Washington, DC

Existing Conditions      A103

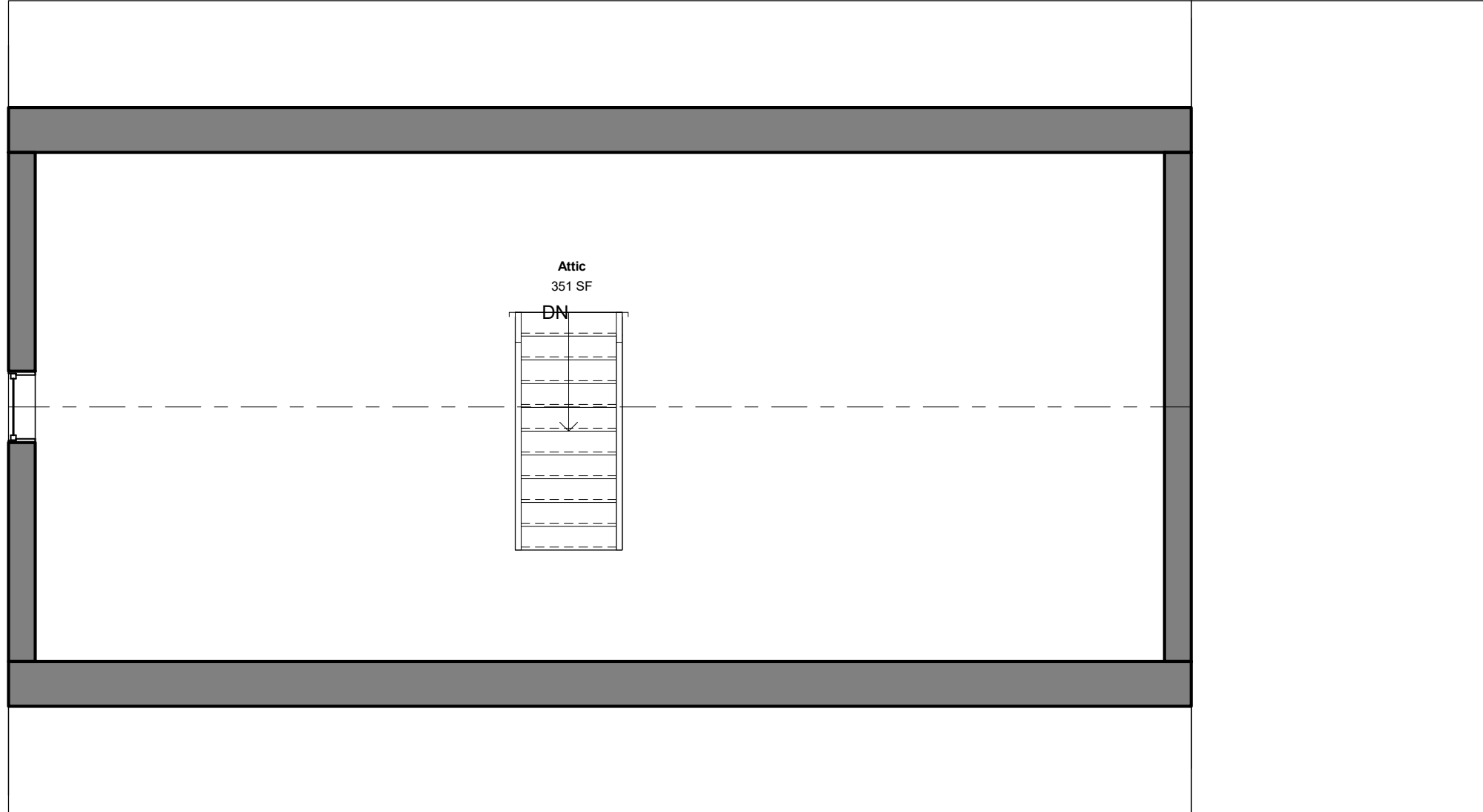
Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design

Ridge Beam 6'-6"  
Floor Joists 2x8 Front to Back



123 Main Street  
Washington, DC

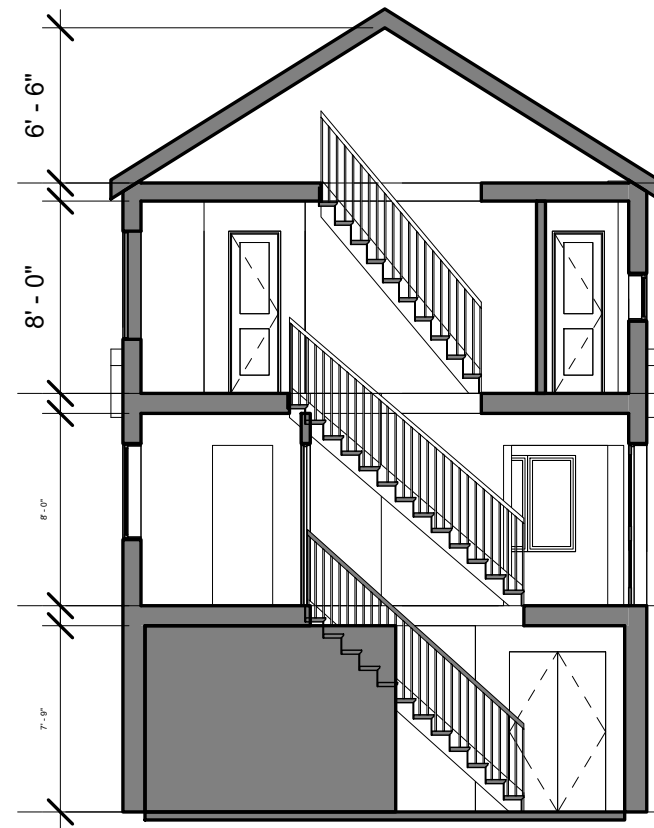
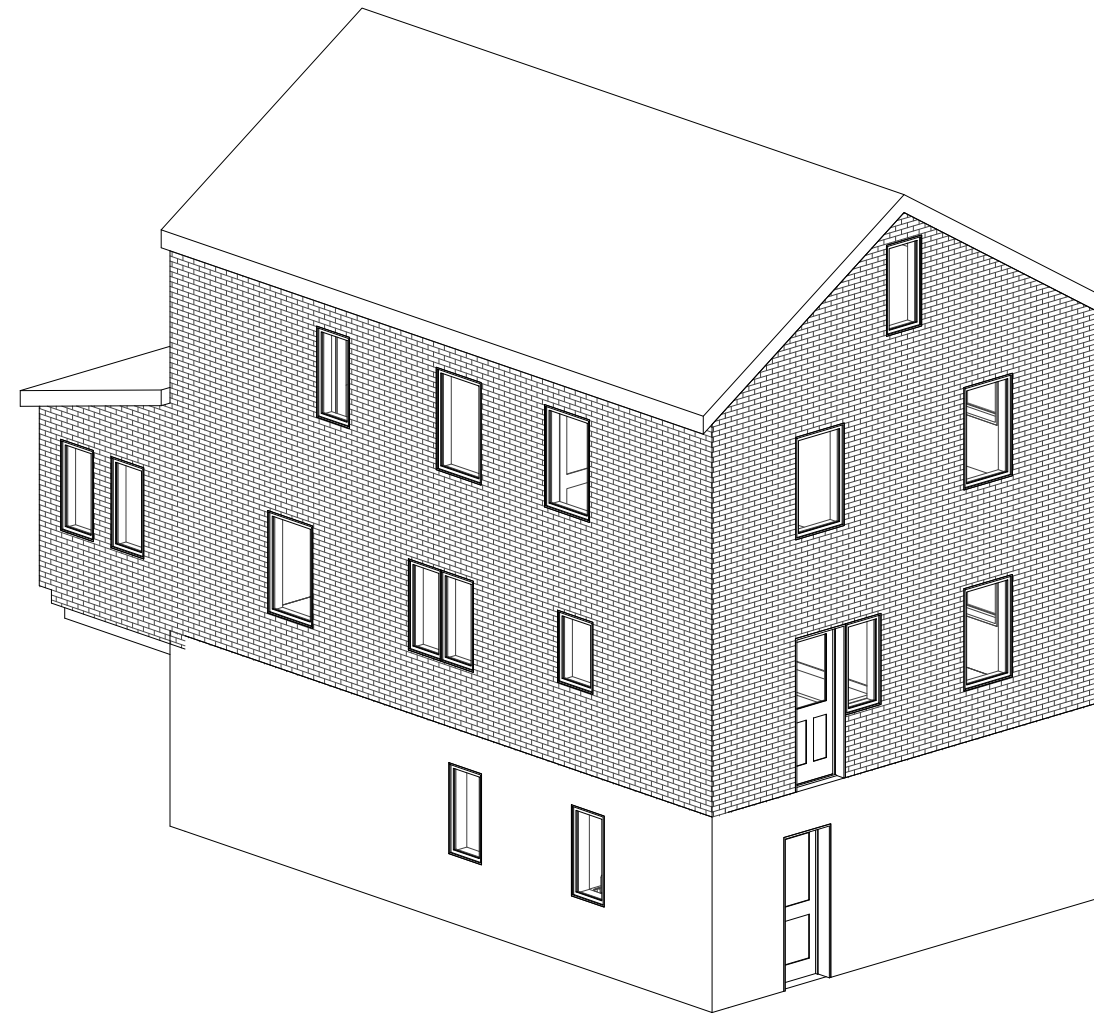
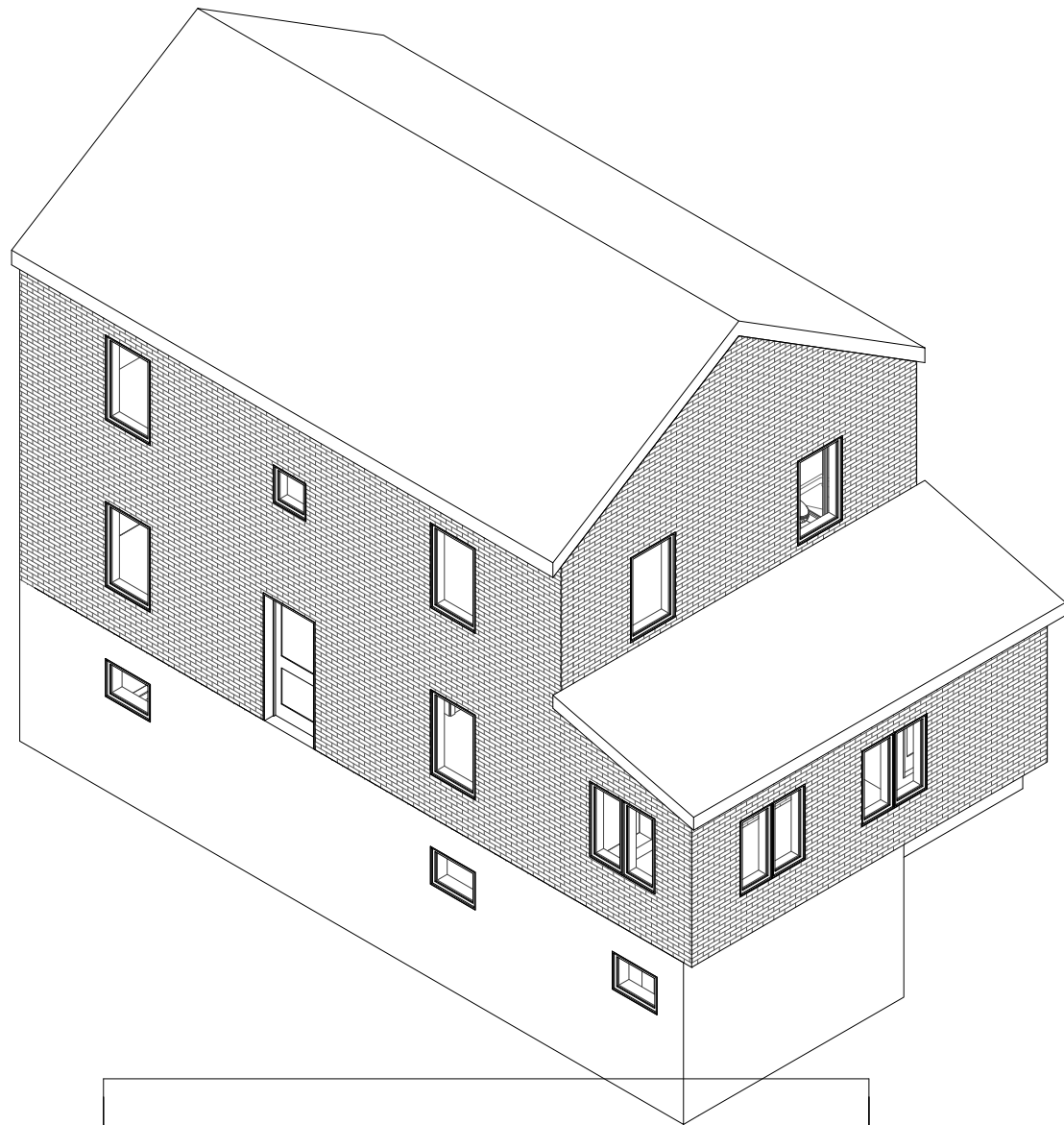
Existing Conditions      A104

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	R.DeBaun		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
  
Schematic  
Design



4. Roof Level -  
Existing Conditions  
17' - 7"

3. Upper Level -  
Existing Conditions  
8' - 10"

2. Main Level -  
Existing Conditions  
0' - 0"

1. Basement Level -  
Existing Conditions  
-8' - 7"

123 Main Street  
Washington, DC

Existing Views      A105

Date      07/28/20      Scale 1/8" = 1'-0"  
Drawn by      Author

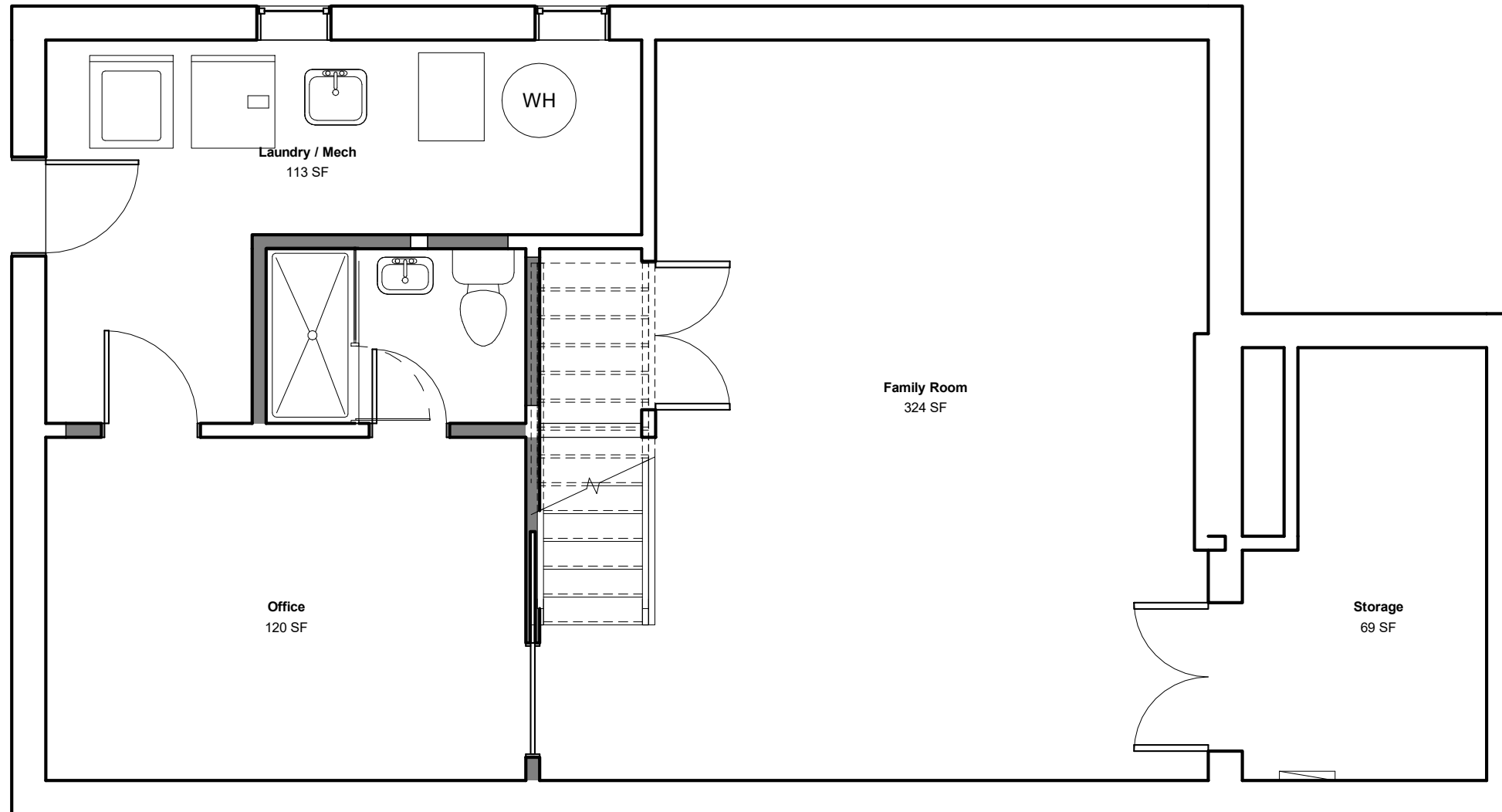
OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



NEXT, YOUR ARCHITECTURAL DESIGNER WILL  
PREPARE UP TO 3 INSIGHTFUL DESIGN OPTIONS



123 Main Street  
Washington, DC

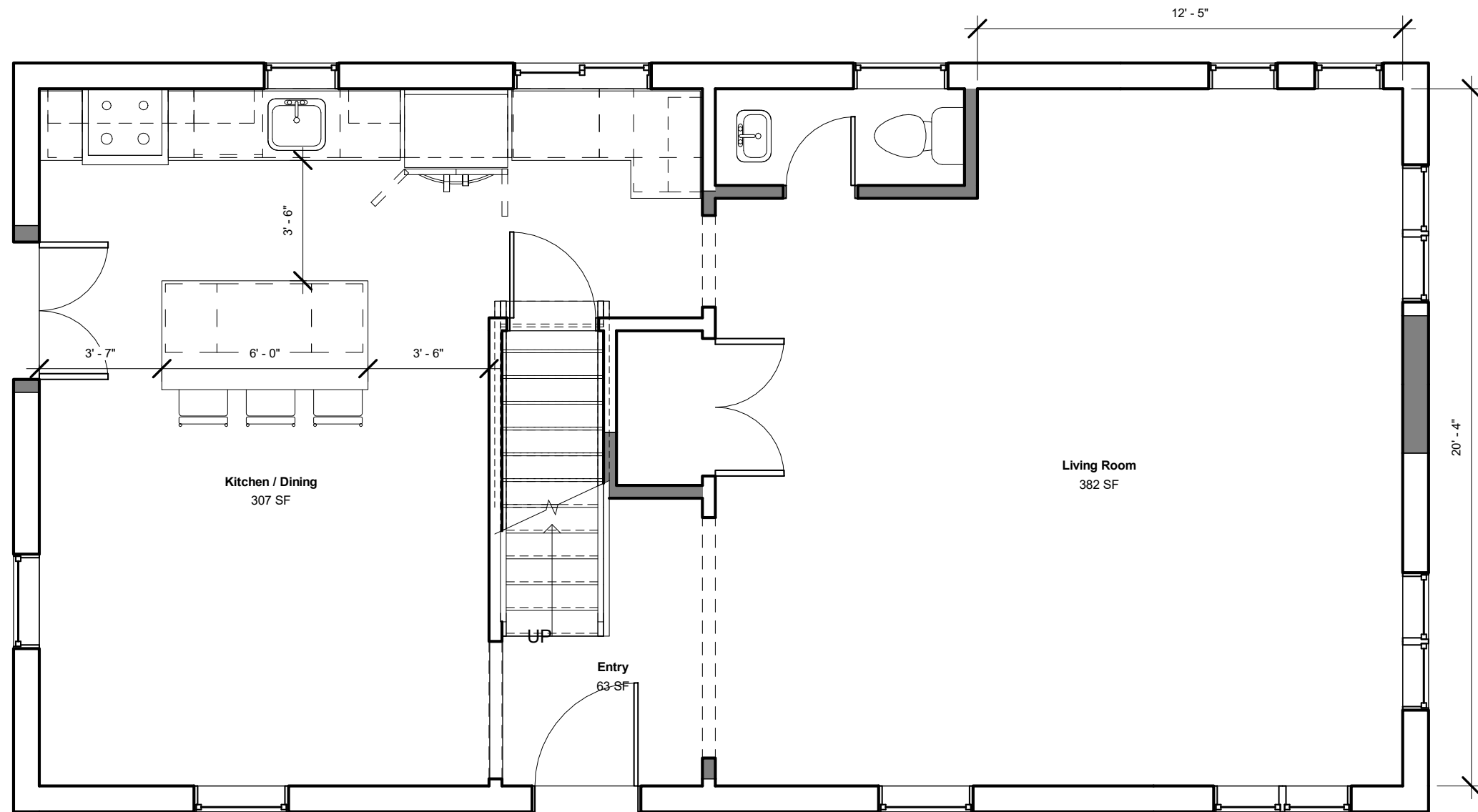
**Renovation Plans**      **SD101**

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design



123 Main Street  
Washington, DC

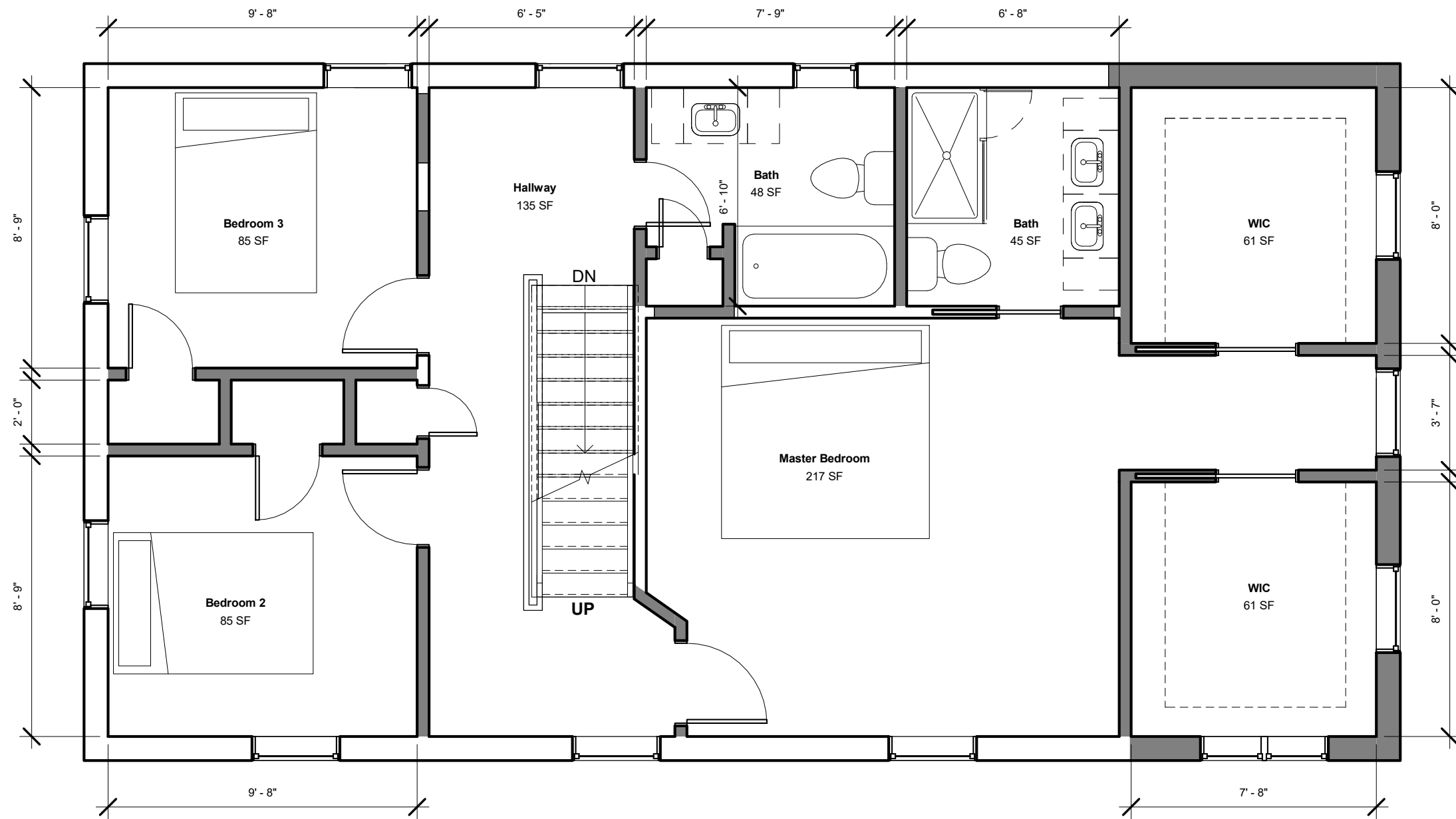
Renovation Plans SD102

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

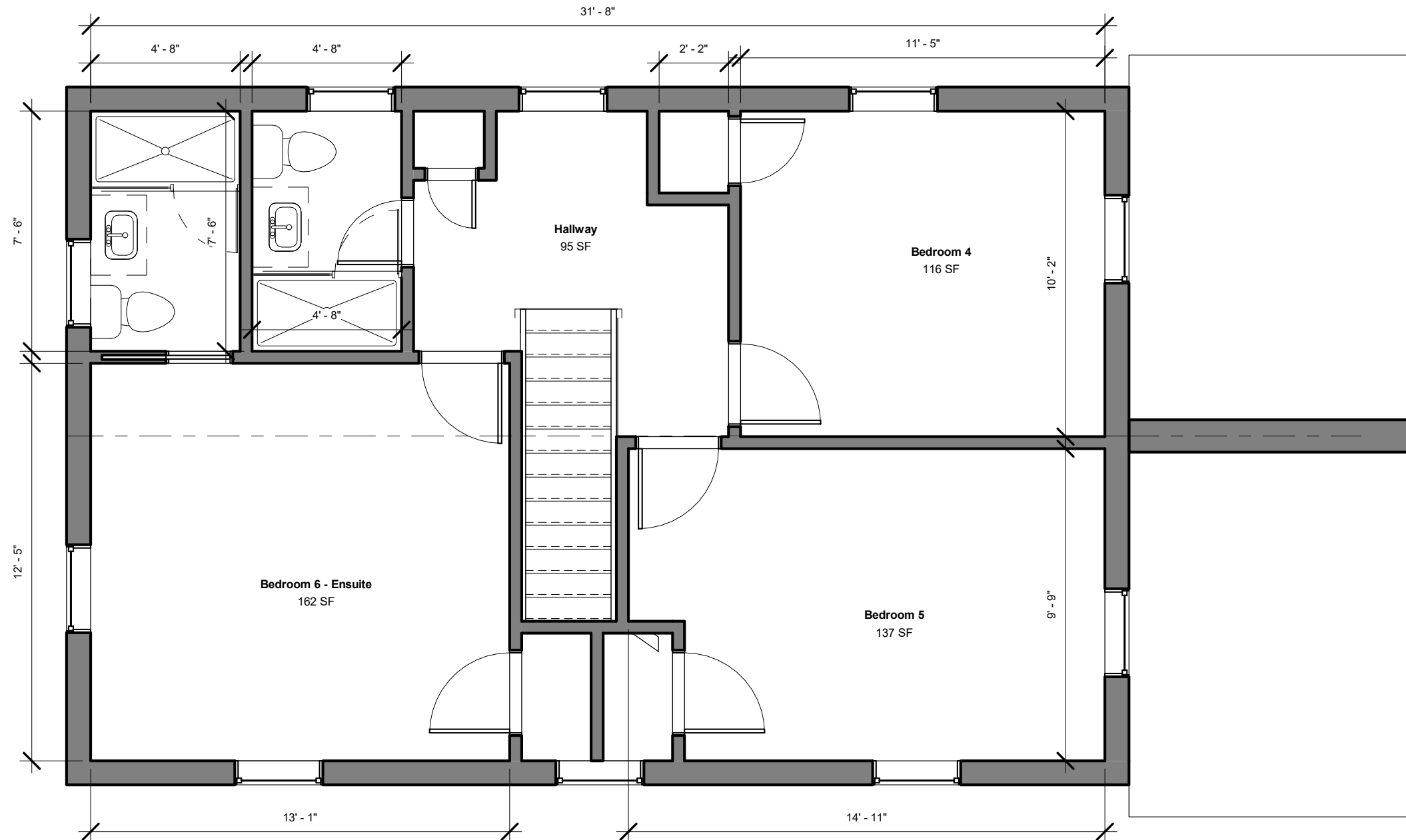
**Renovation Plans**      **SD103**

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design



123 Main Street  
Washington, DC

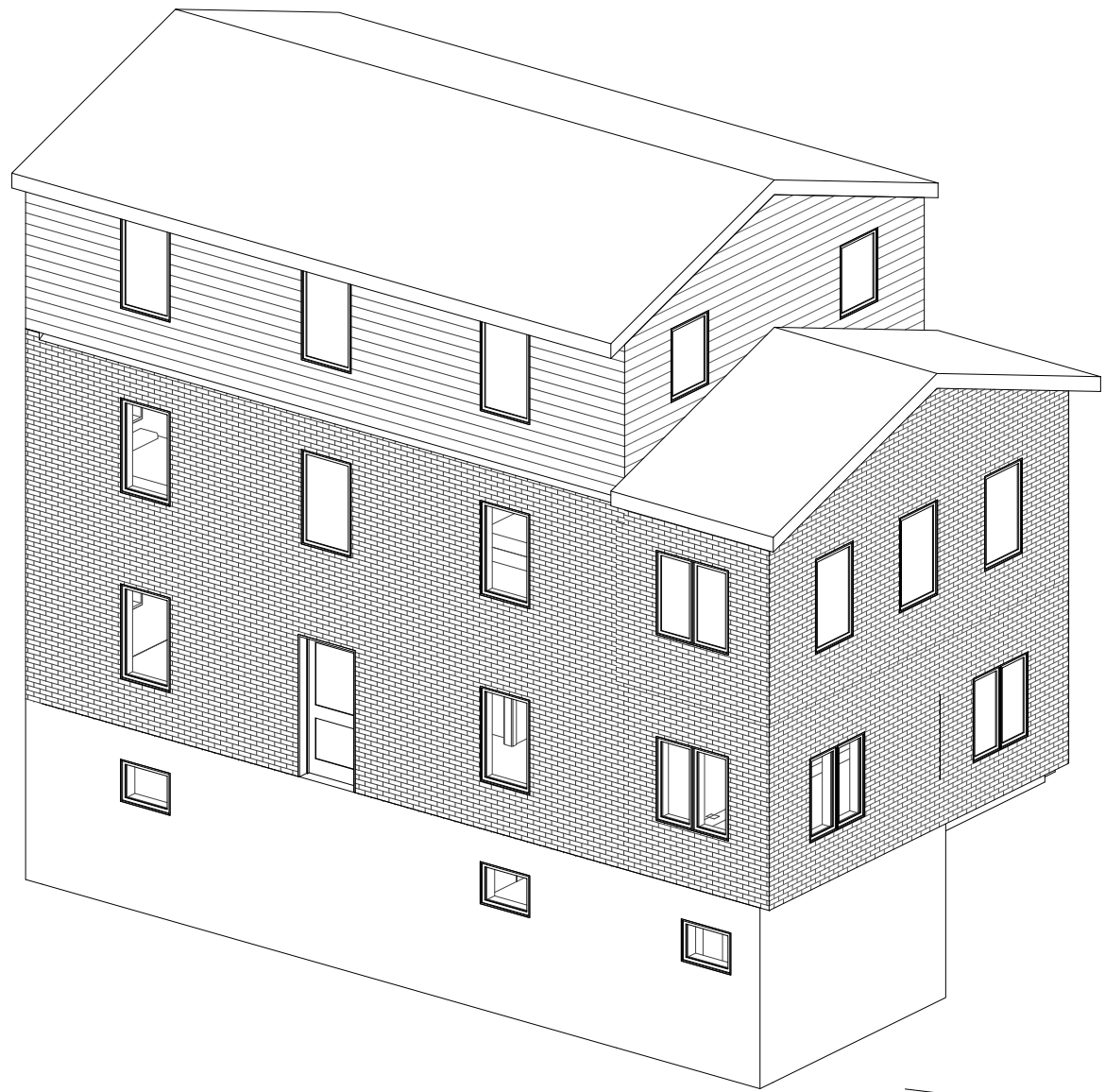
Renovation Plans SD104

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

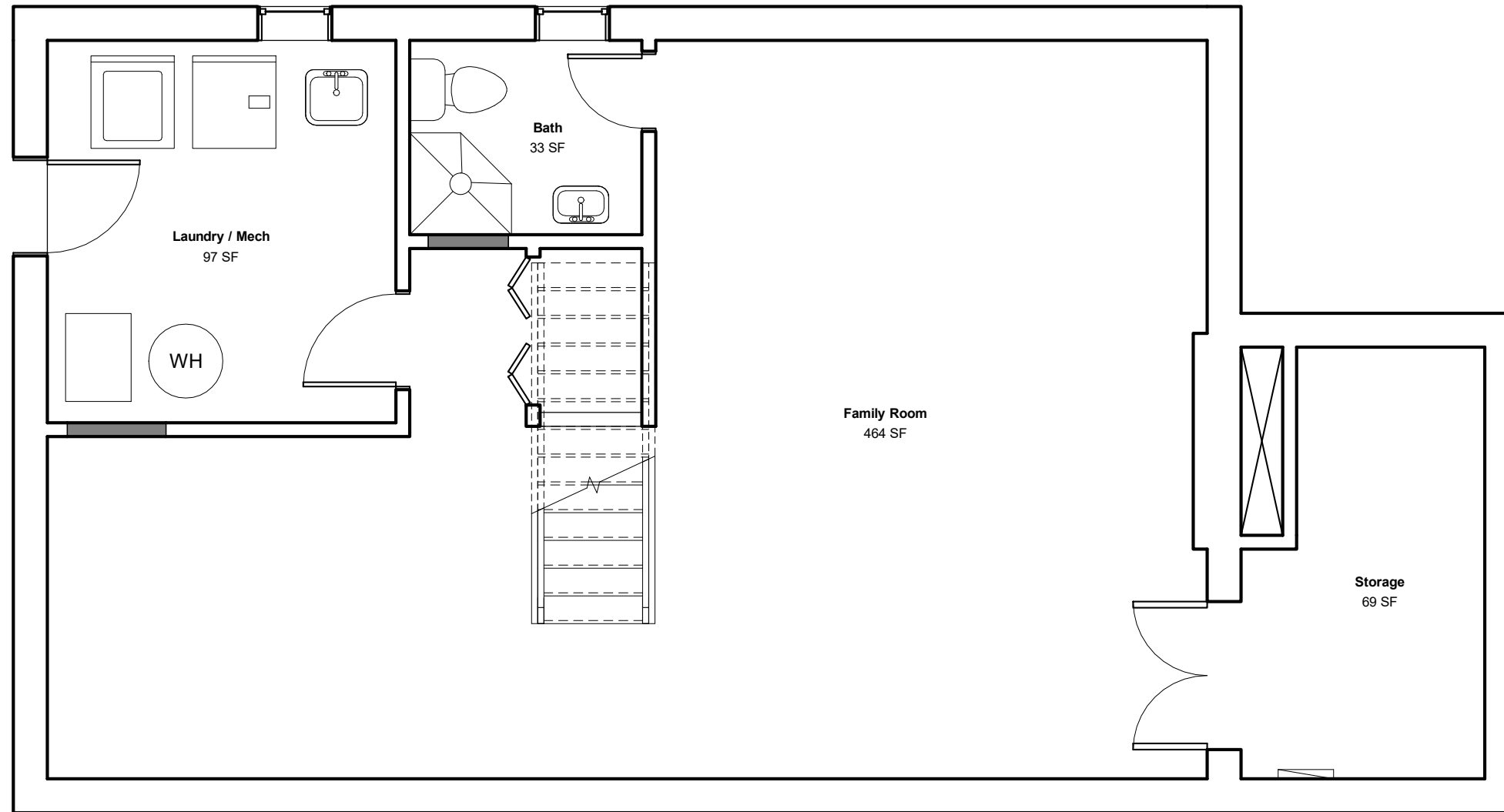
SD1 Views SD105

Date	07/28/20	Scale
Drawn by	Author	

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



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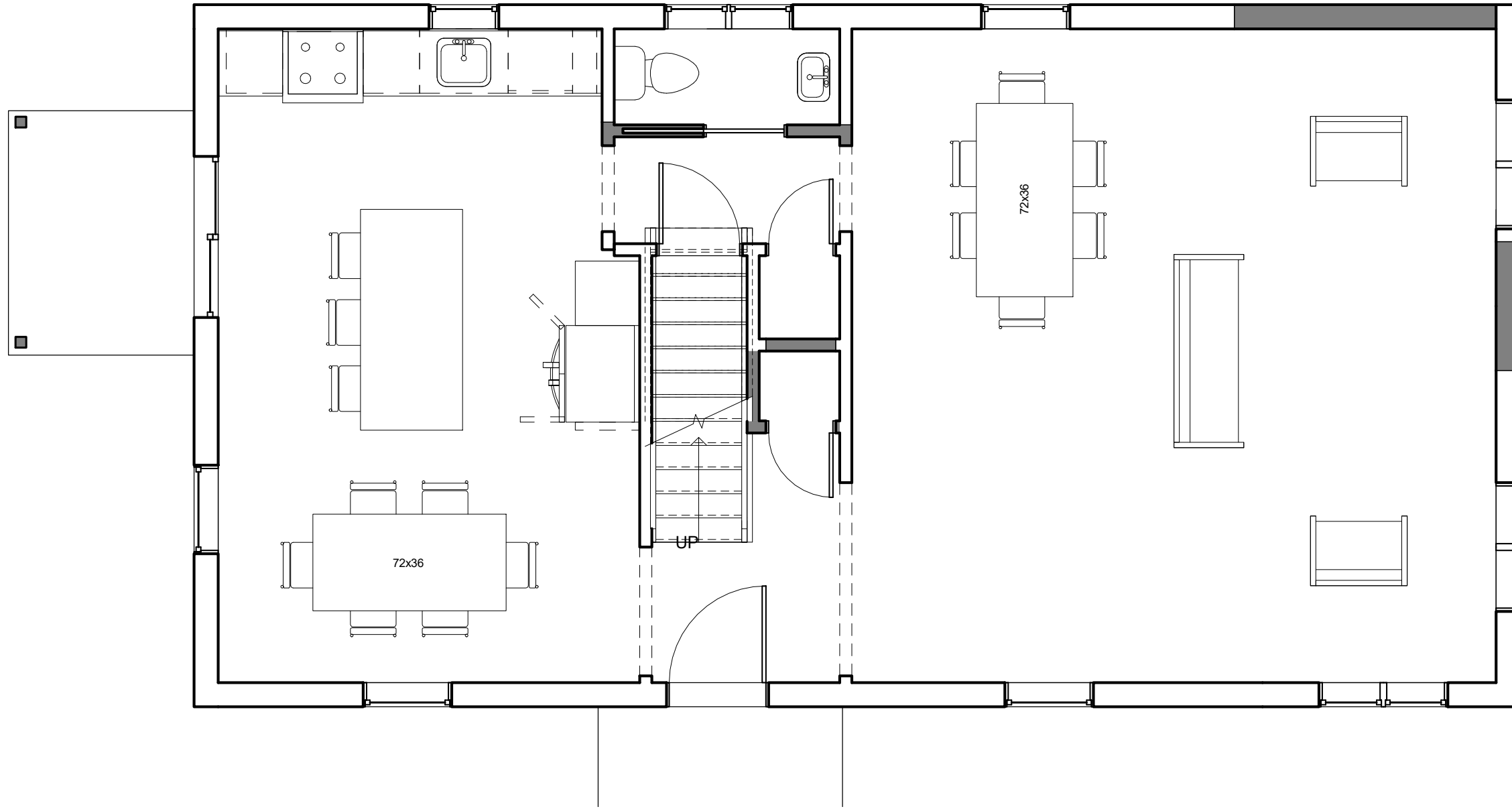
**Renovation Plans**      **SD201**

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design



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Washington, DC

**Renovation Plans**      **SD202**

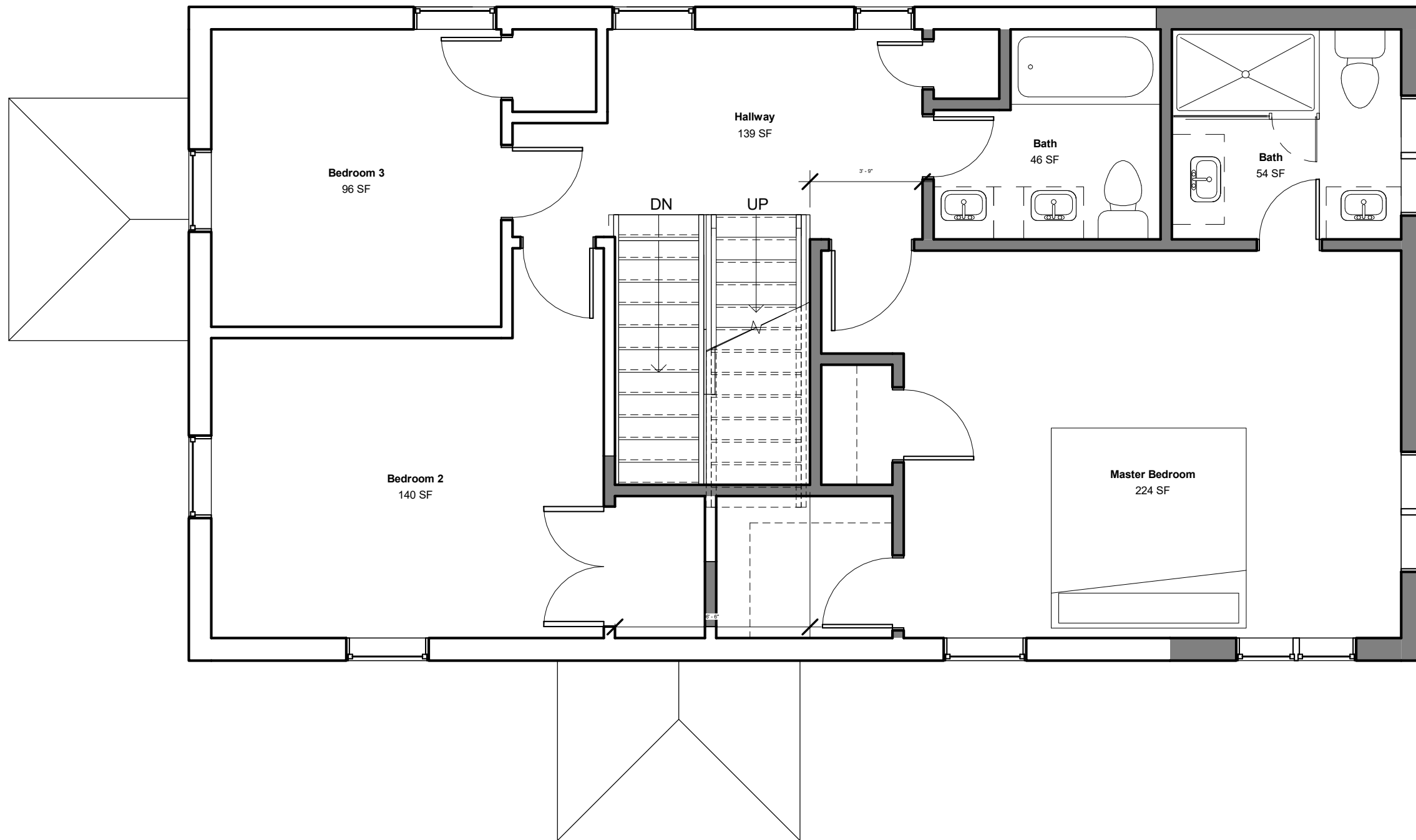
Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design





123 Main Street  
Washington, DC

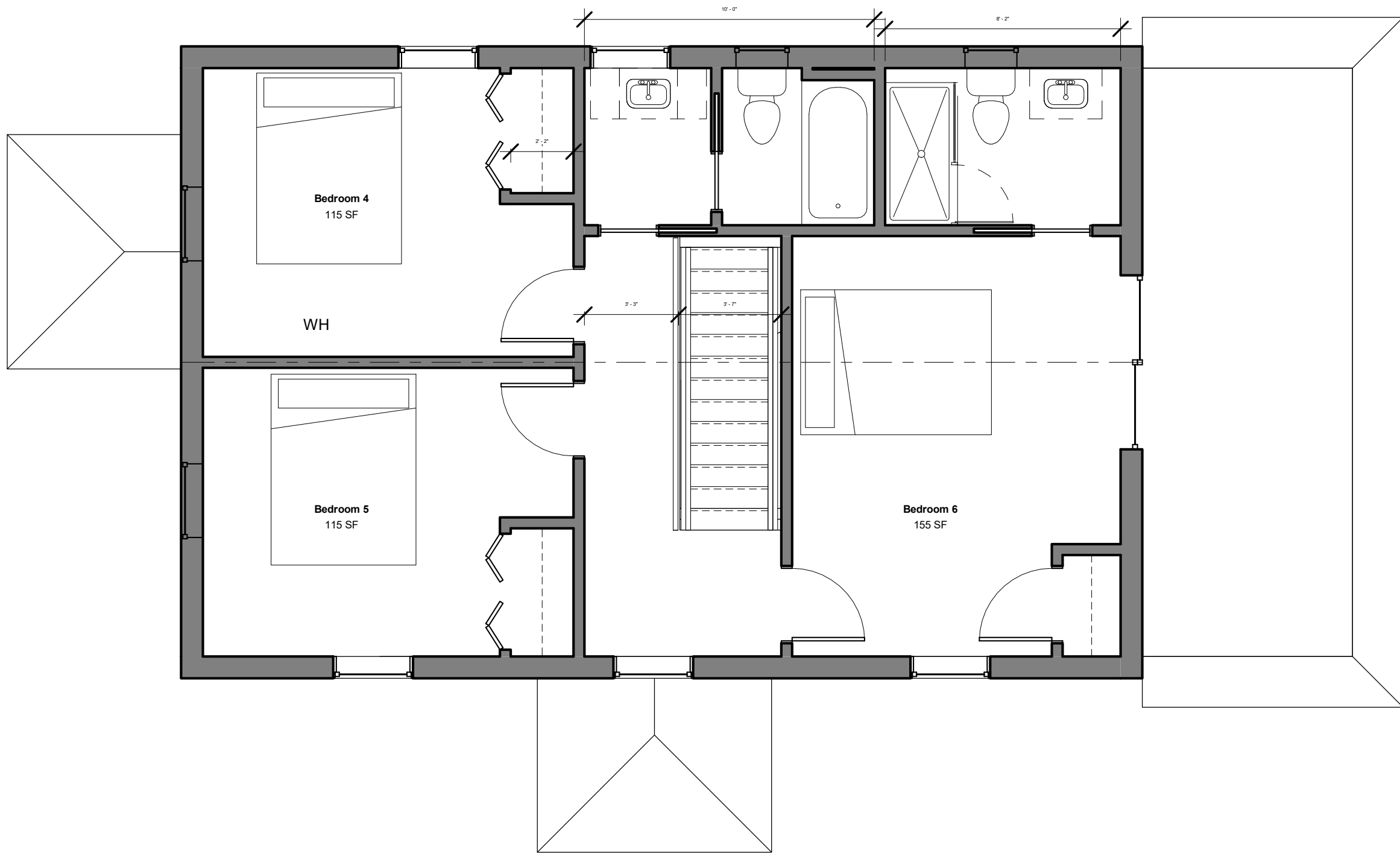
Renovation Plans SD203

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

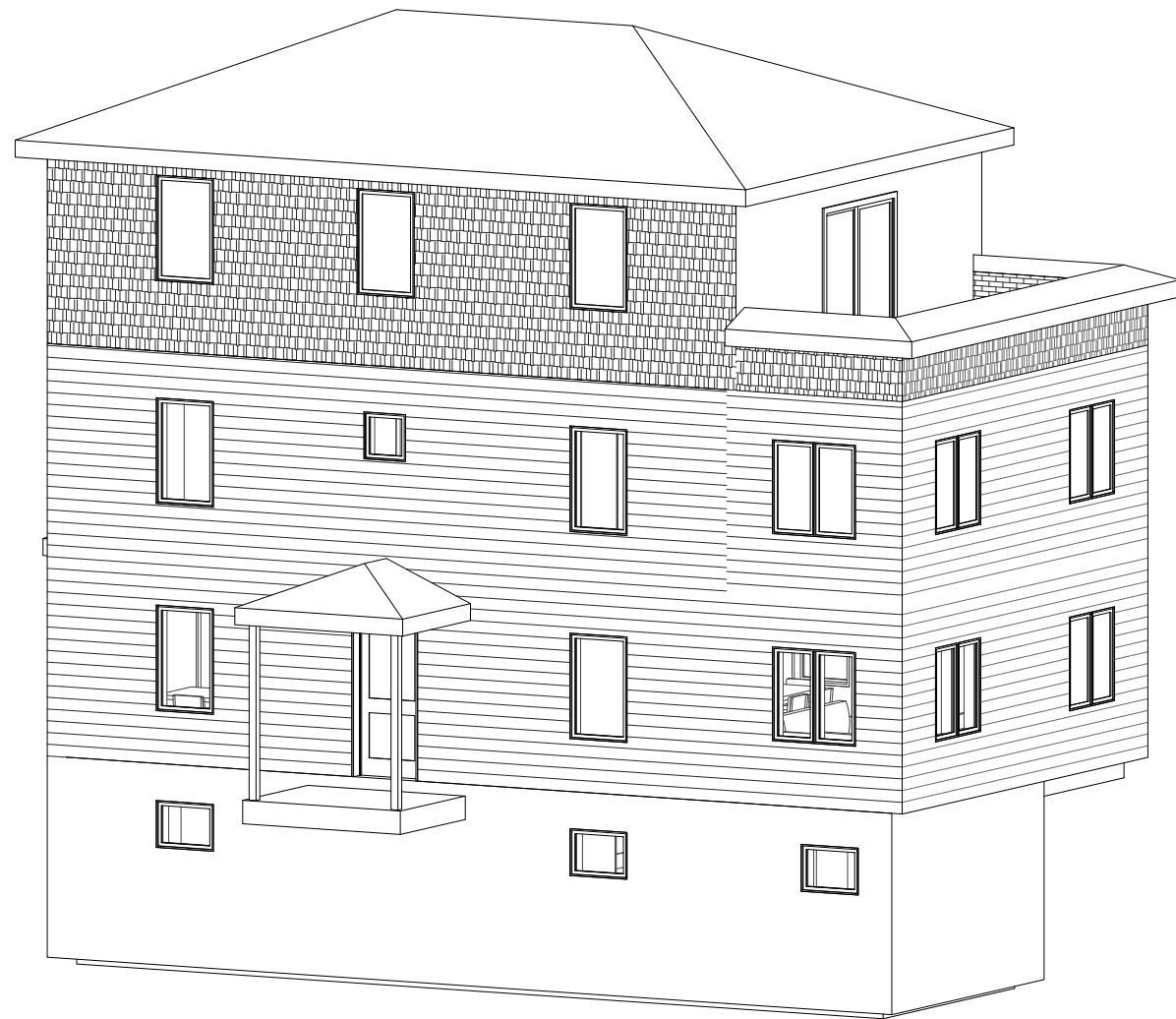
Renovation Plans SD204

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

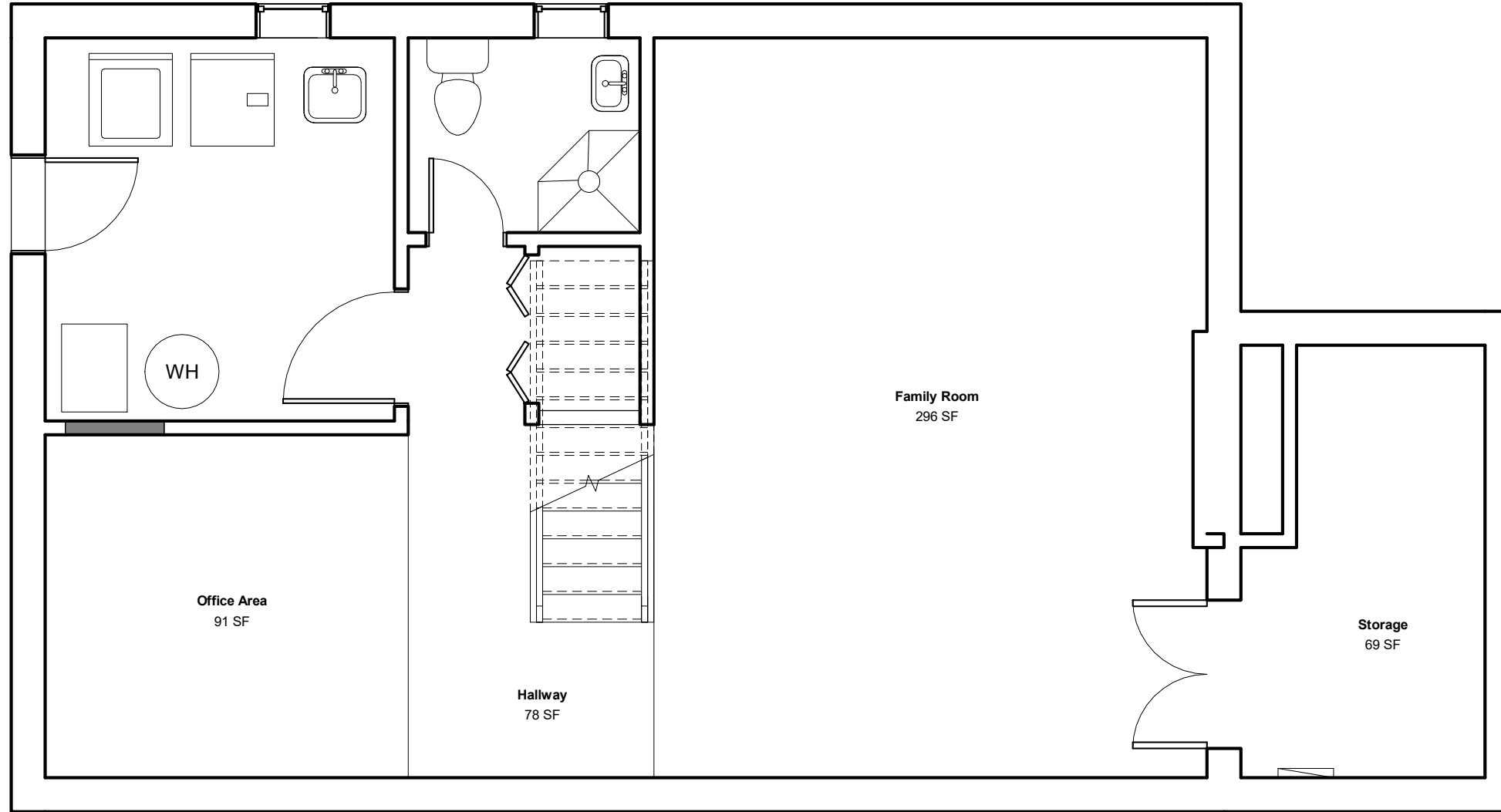
SD2 Views SD205

Date	07/28/20	Scale
Drawn by	Author	

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

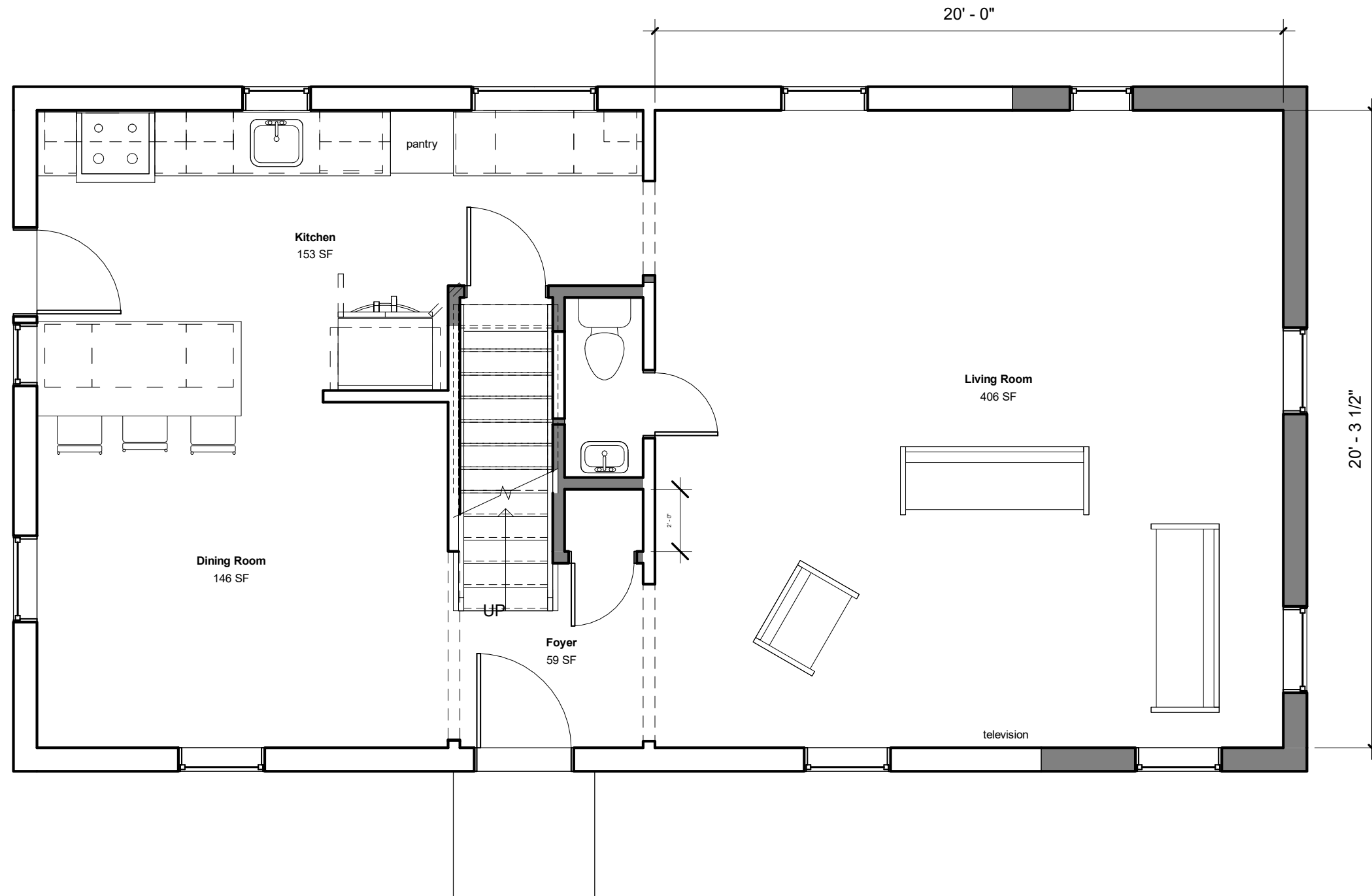
**Basement - Reno**      **SD301**

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design



123 Main Street  
Washington, DC

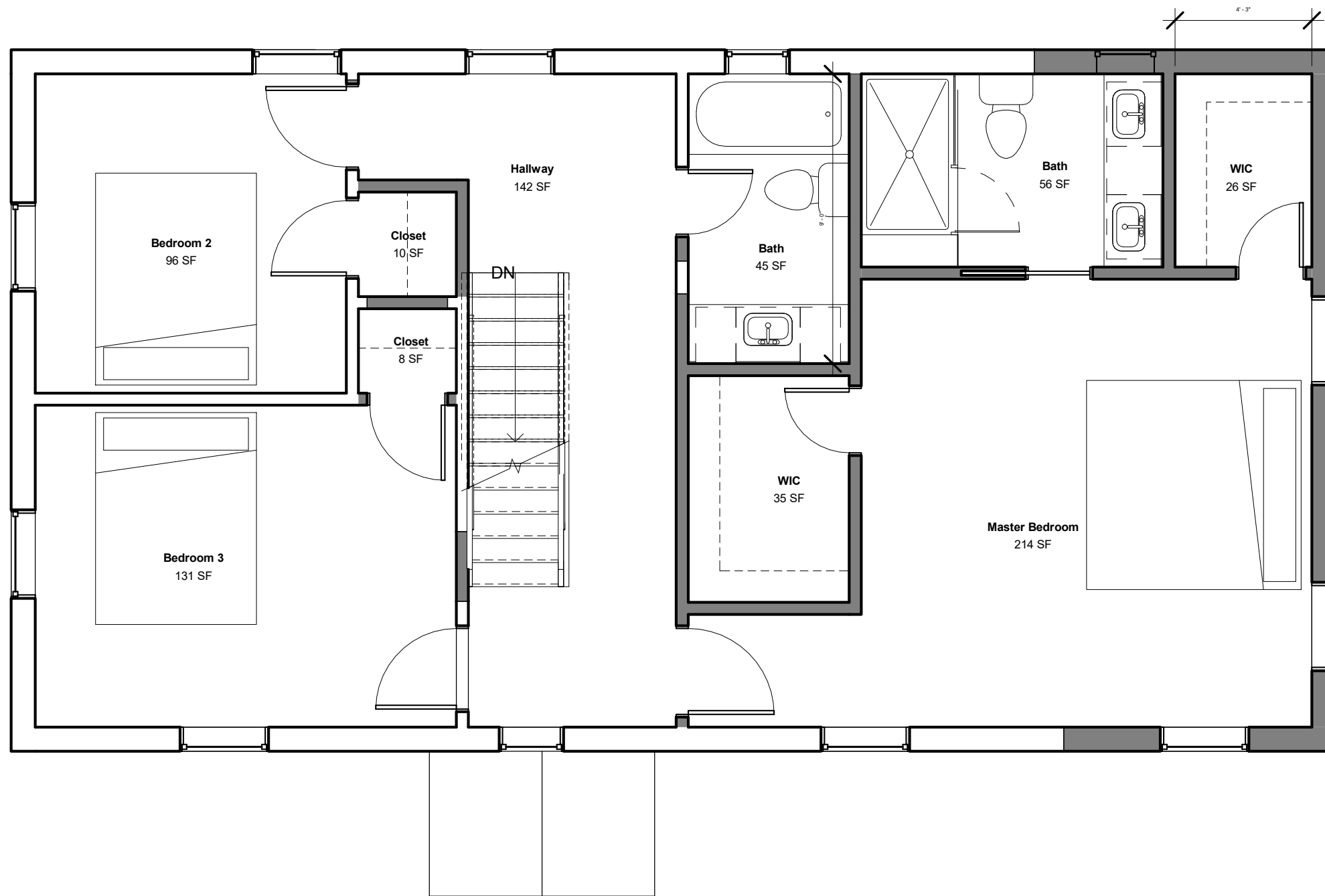
**Main - Reno** SD302

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

**OWNER:**  
John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**  
Schematic  
Design



123 Main Street  
Washington, DC

SD303

Upper - Reno

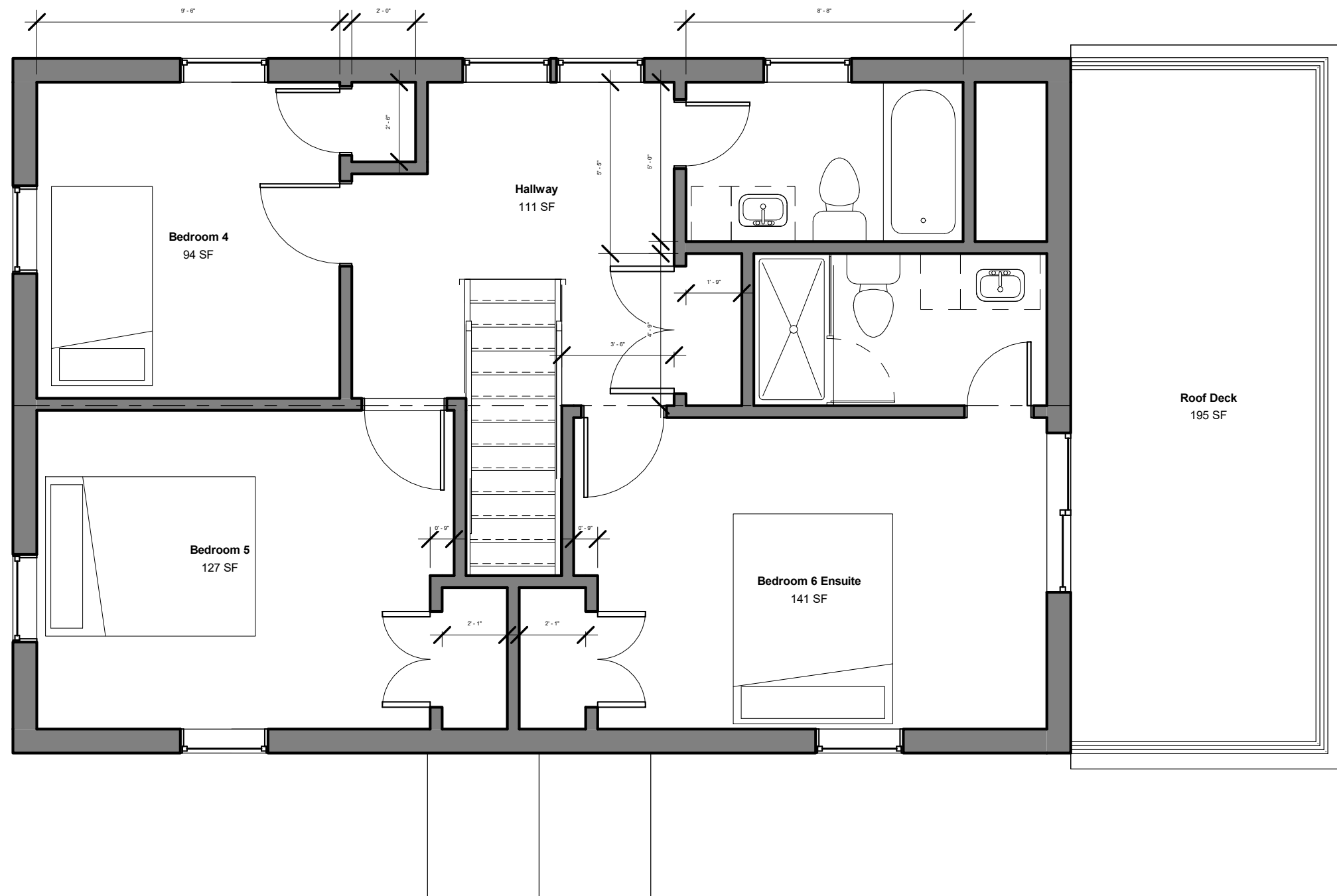
Scale 1/4" = 1'-0"

Date 07/28/20  
Drawn by Author

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

Top - Reno SD304

Date	07/28/20	Scale	1/4" = 1'-0"
Drawn by	Author		

OWNER:  
John and Jill Smith  
123 Main Street  
Alexandria, VA

CONTRACTOR:  
Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

DRAWING STATUS:  
Schematic  
Design



123 Main Street  
Washington, DC

SD3 Views SD305

Date	07/28/20	Scale
Drawn by	Author	

**OWNER:**

John and Jill Smith  
123 Main Street  
Alexandria, VA

**CONTRACTOR:**

Moore Construction Group  
913 Duke St  
Alexandria VA, 22314

**DRAWING STATUS:**

Schematic  
Design



ONCE YOUR DESIGNS ARE COMPLETE, OUR  
TEAM WILL REVIEW AND PREPARE PRICING  
RANGES FOR EACH OPTION



DC Home Improvement  
Contractor Lic #420215000094

MHIC  
License #132356

VA Home Improvement  
Contractor Lic #2705132717

MD Master Plumber  
Lic #83998

VA Master Plumber  
Lic #2705132717

MD Master Electrician  
Lic #4606

VA Master Electrician  
Lic #2705132717

## DESIGN OPTIONS ESTIMATES

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Date: November 4, 2020  
Address: 123 Main St Alexandria, VA 22314  
Contacts: John & Jill Smith | [jillsmith@gmail.com](mailto:jillsmith@gmail.com) [johnsmith@gmail.com](mailto:johnsmith@gmail.com)  
Project: Full House Remodel and Additions

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Per your request, Moore Construction Group, LLC hereby submits the following pricing for the above-mentioned project which includes all work listed below.

### Schematic Design 1 – Scope

- Demo and Haul Away Existing Kitchen and Bathroom Fixtures and Finishes
- Demo and Haul Existing Doors, Trim, Drywall, Plaster, and Hardwood Floors
- Demo existing roof structures
- Rewire and replumb from entry point into house per code
- Build second story above side sunroom
- Build third story above existing second story
- Install new truss roof structure atop both new levels
- Upgrade incoming water line 1" diameter service
- Reconfigure basement
  - New Water heater and Furnace at existing powder room location
  - Ground works to reconfigure powder room into full bath at new location
  - Create office at existing bar area
  - Entry to laundry roof off office
  - option to add additional door at family room side near water heater
  - Level concrete slab and install new laminate flooring
  - Install new code compliant stairwell to main level
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- Reconfigure Main Level
  - Remove wall between kitchen and dining room
  - Reconfigure kitchen layout and extend into breakfast nook
  - Relocate fridge, resize gas range
  - Replace door and window with new double door or sliding glass door

- Relocate powder room closer to kitchen
- Install new steel beam front to back at existing fireplace wall.
- Install new sleeper joists at existing sun room to create larger open concept living space with consistent level floor throughout
- Reconfigure windows in sun room to create symmetry on side wall for media purposes
- New hardwood flooring throughout level
- New insulation, drywall, doors, and trim throughout level
- Install new recessed lights throughout level
- Install entry light in foyer and pendant lights over island
- Paint three color scheme
- Reconfigure second level
  - Expand second level over existing run room install LVLs at ceiling to support roof structure
  - Create new hallway condition
  - Change entry to master bedroom and add two walk in closets
  - Enlarger and reconfigure master bathroom to include double vanity
  - Reconfigure hall bath to absorb some of the hallway space
  - Two small secondary bedrooms of equal shape and size each with closet
  - Linen closet in hall bath and in hallway
  - Install new stairwell from second to third level above existing stairwell
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- Third (Top) Level
  - Frame and finish new 3<sup>rd</sup> story to include two secondary bedrooms and hall bath and ensuite bedroom with attached bath and linen closet in hallway
  - Bathrooms do not stack above bathrooms on second level to take advantage of wider side of house for larger secondary bedrooms
  - No roof deck this option
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- General
  - New brick façade at second story above sunroom. Paint all brick for consistent look
  - Vinyl siding at third story, install pvc trim between materials
  - New architectural shingles color tbd at all roofs
  - New Simonton vinyl windows throughout
  - New two zone HVAC system – 1 furnace in attic, 1 furnace in basement and 2 condensers outside behind laundry room
  - Upgrade electrical panel to 200 AMP service – rewire house per code
  - New underground drain lines remaining to existing from house to street. New above basement floor drains throughout
  - Install new water supply lines throughout house

Construction Estimate: **\$495,000 +/-**  
Construction Timeline (Weeks): **6 months**

### **Schematic Design 2 – Scope**

- Demo and Haul Away Existing Kitchen and Bathroom Fixtures and Finishes
- Demo and Haul Existing Doors, Trim, Drywall, Plaster, and Hardwood Floors
- Demo existing roof structures
- Rewire and replumb from entry point into house per code
- Build second story above side sunroom
- Build third story above existing second story
- Install new truss roof structure atop both new levels
- Upgrade incoming water line 1" diameter service
- Reconfigure basement
  - New Water heater and Furnace inside laundry room
  - Ground works to reconfigure powder room into full bath at existing location
  - Delete doorway that leads behind existing bar
  - Existing mechanical closet to be opened up into storage room
  - Existing bar area to be cleared and refinished – open concept family room
  - Level concrete slab and install new laminate flooring
  - Install new code compliant stairwell to main level
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- Reconfigure Main Level
  - Remove wall between kitchen and dining room
  - Reconfigure kitchen layout and extend into existing dining room
  - Relocate fridge, resize gas range
  - Replace door and window with new double door or sliding glass door
  - Relocate powder room to breakfast nook across from entry to basement
  - Install new steel beam front to back at existing fireplace wall.
  - Install new sleeper joists at existing sun room to create larger open concept completely rectangular living space with consistent level floor throughout
  - Reconfigure windows in sun room to create symmetry on side wall for media purposes
  - Configuration allows for multiple dining options – combo Living room / dining Room would allow for smaller secondary informal living space at existing dining room
  - New hardwood flooring throughout level
  - New insulation, drywall, doors, and trim throughout level
  - Install new recessed lights throughout level
  - Install entry light in foyer and pendant lights over island
  - Paint three color scheme
- Reconfigure second level
  - Expand second level over existing run room install steel beam to support third story

- Two secondary bedrooms to more or less stay the same other than closet of front bedroom
- Reconfigure / Shift hall bath to include double vanity – no window
- Shift entry to master bedroom towards addition.
- Enlarger and reconfigure master bathroom to include his and hers vanity
- Master bedroom to include small his and hers closets
- Linen closet in hallway
- Install new stairwell from second to third level adjacent to existing stairwell
- New framing, insulation, and drywall throughout
- New doors and trim
- New recessed lights and outlets per code
- Paint three color scheme
- Third (Top) Level
  - Frame and finish new 3<sup>rd</sup> story to include two secondary bedrooms and hall bath and ensuite bedroom with attached bath
  - Hall Bathroom to include private toilet / tub room for ease of multiple users
  - Ensuite Bedroom to have sliding glass door that leads to roof deck with 36" knee walls sided and roofed for private roof deck experience
  - Stairwell not stacked above existing stairwell allows for larger secondary bedrooms
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- General
  - Hip style roof – trusses as possible, stick frame ends
  - New siding everywhere, furring strips installed over brick for new lap siding and shaker style siding at upper level for more cohesive aesthetic
  - New architectural shingles color tbd at all roofs
  - New Simonton vinyl windows throughout
  - New two zone HVAC system – 1 furnace in attic, 1 furnace in basement and 2 condensers outside behind laundry room
  - Upgrade electrical panel to 200 AMP service – rewire house per code
  - New underground drain lines remaining to existing from house to street. New above basement floor drains throughout
  - Install new water supply lines throughout house

Construction Estimate: **\$535,000 +/-**

Construction Timeline (Weeks): **6 months**

### **Schematic Design 3 – Scope**

- Demo and Haul Away Existing Kitchen and Bathroom Fixtures and Finishes
- Demo and Haul Existing Doors, Trim, Drywall, Plaster, and Hardwood Floors
- Demo existing roof structures

- Rewire and replumb from entry point into house per code
- Build second story above side sunroom
- Build third story above existing second story
- Roof structure rafters with dormer at main house
- Torch membrane roof at sunroom for roof deck
- Upgrade incoming water line 1" diameter service
- Reconfigure basement
  - New Water heater and Furnace inside laundry room
  - Ground works to reconfigure powder room into full bath at existing location
  - Delete doorway that leads behind existing bar
  - Existing mechanical closet to be opened up into storage room
  - Existing bar area to be cleared and refinished – open concept family room
  - Level concrete slab and install new laminate flooring
  - Install new code compliant stairwell to main level
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- Reconfigure Main Level
  - Remove part of wall between kitchen and dining room to create peninsula
  - Reconfigure kitchen layout and extend into breakfast nook
  - Rotate fridge, resize gas range
  - Relocate powder room to existing coat closet location
  - Install new steel beam front to back at existing fireplace wall.
  - Install new sleeper joists at existing sun room to create larger open concept completely rectangular living space with consistent level floor throughout
  - Configuration allows for multiple dining options – combo Living room / dining Room would allow for smaller secondary informal living space at existing dining room
  - New hardwood flooring throughout level
  - New insulation, drywall, doors, and trim throughout level
  - Install new recessed lights throughout level
  - Install entry light in foyer and pendant lights over peninsula
  - Paint three color scheme
- Reconfigure second level
  - Expand second level over existing run room install steel beam to support third story
  - Reconfigure secondary bedrooms. Relocate entry point and closets
  - Create hallway condition at existing master bedroom entry point.
  - Reconfigure / Shift hall bath to include single vanity with increased counterspace
  - Relocate entry to master bedroom
  - Enlarger and reconfigure master bathroom to include his and hers vanity
  - Master bedroom to include two walk in closets
  - No linen closet this level. Large linen closet upstairs
  - Install new stairwell from second to third level above existing stairwell
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code

- Paint three color scheme
- Third (Top) Level
  - Frame and finish new 3<sup>rd</sup> story to include two secondary bedrooms and hall bath and ensuite bedroom with attached bath
  - Hall bath fairly standard 5 x 8 bathroom – cannot extent further into corner because of roof pitch
  - Ensuite Bedroom to have sliding glass door that leads to roof deck with cable railing
  - New framing, insulation, and drywall throughout
  - New doors and trim
  - New recessed lights and outlets per code
  - Paint three color scheme
- General
  - A Frame roof with large shed dormer each side – stick frame with rafters
  - New siding at two story side addition and third story addition furring strips installed over brick for new lap siding
  - New architectural shingles color tbd at all roofs
  - New Simonton vinyl windows throughout
  - New two zone HVAC system – 1 furnace in attic, 1 furnace in basement and 2 condensers outside behind laundry room
  - Upgrade electrical panel to 200 AMP service – rewire house per code
  - New underground drain lines remaining to existing from house to street. New above basement floor drains throughout
  - Install new water supply lines throughout house

Construction Estimate: **\$515,000 +/-**

Construction Timeline (Weeks): **6 months**

ESTIMATE CLASS	Primary Characteristic	Secondary Characteristic		
	MATURITY LEVEL OF PROJECT DEFINITION DELIVERABLES Expressed as % of complete definition	END USAGE Typical purpose of estimate	METHODOLOGY Typical estimating method	EXPECTED ACCURACY RANGE Typical variation in low and high ranges
Class 5	0% to 2%	Concept screening	Capacity factored, parametric models, judgment, or analogy	L: -20% to -50% H: +30% to +100%
Class 4	1% to 15%	Study or feasibility	Equipment factored or parametric models	L: -15% to -30% H: +20% to +50%
Class 3	10% to 40%	Budget authorization or control	Semi-detailed unit costs with assembly level line items	L: -10% to -20% H: +10% to +30%
Class 2	30% to 75%	Control or bid/tender	Detailed unit cost with forced detailed take-off	L: -5% to -15% H: +5% to +20%
Class 1	65% to 100%	Check estimate or bid/tender	Detailed unit cost with detailed take-off	L: -3% to -10% H: +3% to +15%

Table 1 – ACE Cost Estimate Classification System

Thank you for providing Moore Construction Group, LLC the opportunity to be of service. We look forward to working with you on your project. If you need any additional information or wish to discuss this estimate further, please do not hesitate to contact me.

Sincerely,



Nate Moore



**Toll Free:(888) 48-MOORE**

Fax: 888.486.6673

913 Duke Street

Alexandria, VA 22314



ALL DESIGN PACKAGES INCLUDE A CUSTOM  
ONLINE PORTAL

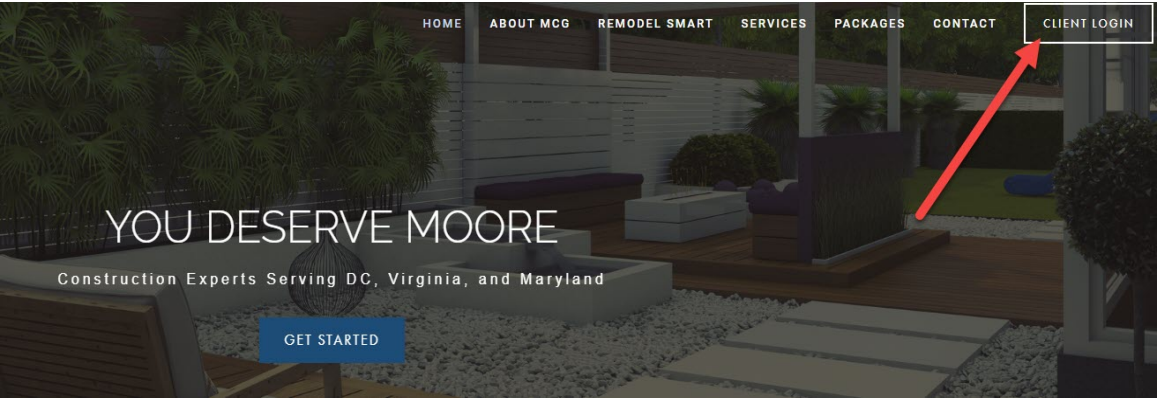
*Powered by*



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 BUILDERTREND

# AND ENJOY A SINGLE HOME FOR ALL YOUR PROJECT INFORMATION

Summary To-Do's Schedule Daily Logs Documents Videos Photos Messages Comments Change Orders Selections Warranty Surveys Invoices Estimate ⚙️




[Contact Us](#)  
[\(888\) 486-6673](tel:8884866673)

**Project Managers**  
✉️ Chris Jones: [703.801.7469](tel:7038017469)


Hi Nate Moore!  
Here's a look at

## 123 Main Street Washington, DC 20003




Contract Price: \$348,329.00  
Job Running Total: \$348,329.00  
Less Payments Received: \$0.00

🔒 Job Remaining Balance  
**\$348,329.00**



[f](#) [p](#) [m](#)

Recent Photos [View all photos >](#)



Mar 13, 2020 Mar 13, 2020 Mar 13, 2020 Mar 13, 2020


### What's Happening

- To-Do's 0
- Unread Documents 3
- Messages 0
- Pending Change Orders 0
- Upcoming Selections 0
- Warranty Items 0
- Surveys 0
- Invoices 0
- Recent Daily Logs 0

### Weather

Washington, DC 20003 Fri, Mar 13 2020


Current Conditions: Mostly Cloudy


 **71°** F|C Feels like: 71°F  
Winds: 15 mph  
Humidity: 57%

#### Your Extended Forecast

Fri, Mar 13 75° 41°	Sat, Mar 14 55° 40°	Sun, Mar 15 52° 41% 33°
Mon, Mar 16 51° 39°	Tue, Mar 17 60° 25% 42°	Wed, Mar 18 63° 45°

# VIEW YOUR PROJECT DOCUMENTS AND DESIGNS

























To-Do's Schedule Daily Logs **Documents** Videos Photos Messages Comments Change Orders Selections Warranty Surveys Invoices 

 [Contact Us](#)  
[\(888\) 486- 6673](tel:(888)486-6673)

**Project Managers**  
✉ Marco Castro: [703.850.7784](tel:703.850.7784)

### Document Folders

Main [View All Unread Documents](#)

Name	Contains	Total Size	Date Last Updated
 <a href="#">Buildertrend Training (Global)</a>	 1  1	8.9 MB	Nov 25, 2019, 12:03 PM
 <a href="#">Contract Documents</a>	 0  1	4.9 MB	Feb 3, 2020, 11:45 AM
 <a href="#">Home Inspection</a>	 0  1	458 KB	Nov 27, 2019, 3:09 PM
 <a href="#">Invoice Support</a>	 0  1	80 KB	Feb 28, 2020, 1:06 PM
 <a href="#">MISC</a>	 0  1	220 KB	Feb 13, 2020, 1:28 PM
 <a href="#">Permits</a>	 0  3	355 KB	Feb 7, 2020, 10:17 AM
 <a href="#">Schematic Design</a>	 0  5	3.1 MB	Jan 2, 2020, 11:30 AM
 <a href="#">Selections</a>	 0  4	1.3 MB	Feb 20, 2020, 9:34 AM

# MATERIAL SELECTIONS

Do's Schedule Daily Logs Documents Videos Photos Messages Comments Change Orders **Selections** Warranty Surveys Invoices Estimate ⚙️

[Contact Us](#)  
(888) 486-6673

Project Managers  
✉️ Rachel DeBaun: [202.931.3110](tel:2029313110)

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**Selections**

<b>Job Running Total</b> \$119,397.27	<b>Favorites</b> \$0.00	0 ★	<b>Projected Total with Favorites</b> \$119,397.27
--	----------------------------	-----	---


**Agenda** | Grid | List | Category | Location | Allowances

FILTER YOUR RESULTS ▾

[✔ Sliding Glass Door](#) Sort By ▾

**Deadline:** N/A **Price** \$4,219.27

**Category:** 03 - Doors  
**Location:** Exterior  
**Remaining from Allowance:** (\$4,219.27) of \$0.00



[Jeld-Wen 4 Panel Sliding Gl...](#)  
\$4,219.27  
144-IN X 79.5-IN V-4500 FOUR PANEL DOOR / 144-IN X 79.5-IN V-4500 Four Panel Door


✔ Selected

---

[✔ Windows](#)


**Deadline:** N/A **Price** \$726.00


**Category:** 13 - Windows  
**Location:** Exterior  
**Remaining from Allowance:** (\$726.00) of \$0.00



[Andersen 100 Series Single ...](#)  
\$726.00

# PROJECT PHOTOS


To-Do's Schedule Daily Logs Documents Videos **Photos** Messages Comments Change Orders Selections Warranty Surveys Invoices 

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[\(888\) 486- 6673](tel:(888)486-6673)

**Project Managers**  
✉\_Marco Castro: [703.850.7784](tel:703.850.7784)


### Photo Folders

**After**  
85 Photos  
Updated  
Jan 29, 2020, 5:31 PM



+79

**Before**  
47 Photos  
Updated  
Jan 9, 2020, 4:16 PM



+41

# INVOICES

To-Do's Schedule Daily Logs Documents Videos Photos Messages Comments Change Orders Selections Warranty Surveys **Invoices** ⚙️



Contact Us  
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Project Managers  
✉️ Marco Castro: [703.850.7784](tel:703.850.7784)

## Invoices

### Invoices

ID#	Title	Files	Deadline	<u>Invoice Amount</u>	<u>Amount Paid</u>	<u>Invoice Balance</u>	<u>Date Paid</u>	<u>Payment Status</u>
<a href="#">2910-D1</a>	Mobilization	0	2-6-2020	\$26,395.00	\$26,395.00	\$0.00	2-10-2020	✔ Paid
<a href="#">2910CO-1</a>	Change Orders 001, 002, & 003	0	2-19-2020	\$11,814.10	\$11,814.10	\$0.00	2-19-2020	✔ Paid
<a href="#">2910-D2</a>	Demo/Footing Inspection	0	2-28-2020	\$26,395.00	\$26,395.00	\$0.00	3-3-2020	✔ Paid
Totals				\$64,604.10	\$64,604.10	\$0.00		

Invoice Amount Total	\$64,604.10
Amount Paid Total	\$64,604.10
Remaining Invoice Balance	\$0.00

# CHANGE ORDERS

Summary To-Do's Schedule Daily Logs Documents Videos Photos Messages Comments **Change Orders** Selections Warranty Surveys Invoices ⚙️

**MOORE**  
CONSTRUCTION GROUP

Contact Us  
[\(888\) 486-6673](tel:(888)486-6673)

Project Managers  
✉️ Marco Castro: [703.850.7784](tel:703.850.7784)

**Job Price Summary**

Contract Price:	\$175,972.00
Change Orders:	\$11,814.10
Selections Made:	\$0.00
Total Price:	\$187,786.10
Less Payments Received:	\$64,604.10
Remaining Balance:	\$123,182.00

**What's New**

Unread Docs 12

**Weather**

Fri, Mar 13 2020  
Alexandria, VA 22314

Current Conditions:  
Mostly Cloudy

71° F | ☁️  
Feels like: 71°F • Winds: 15 mph  
Humidity: 57%

**Your Extended Forecast**

Fri, Mar 13 76° 41°	Sat, Mar 14 55° 41°
Sun, Mar 15 53° 34°	Mon, Mar 16 52° 40°
Tue, Mar 17 60° 43°	Wed, Mar 18 63° 45°

**Change Order Summary**

Change Order Request

Change Order History

CO ID#	Title	Approval Deadline	Price	
0003	<a href="#">Subfloor</a>	Tue, Feb 18	\$4,889.60	0
0002	<a href="#">Optional - Framing &amp; Insulation</a>	Fri, Feb 21	\$5,629.00	0
0001	<a href="#">Living Room Window Header</a>	Fri, Feb 21	\$1,295.50	1  0
APPROVED:			\$11,814.10	



**MOORE**  
CONSTRUCTION GROUP

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